

# Over Wallop Parish Character Appraisal & Design Code

HAMPSHIRE

Palestine - Over Wallop - Kentsboro

JULY 2022 v2.5



Neighbourhood Development Plan 2016 - 2035

Evidence Base Document 7



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**What is a Design Guide?**

The Localism Act 2011 introduces the right for communities to shape their local areas by creating their own Neighbourhood Development Plan (NDP). Over Wallop Parish Council is currently in the process of preparing the Over Wallop Neighbourhood Plan, which “gives communities direct power to develop a shared vision for their neighbourhood and shape the development and growth of their local area” (Ministry of Housing, Communities & Local Government, 2014).

This document seeks to support Neighbourhood Plan policies that guide the assessment of future development proposals and encourage high quality design.

In order to successfully plan for the future growth and development of the Neighbourhood Plan area it is imperative that there is a clear understanding of its character and what makes it unique.

The aim of this report is therefore to highlight the uniqueness of the Over Wallop Parish character, including its conservation area, listed buildings, landscape setting and network of roads, paths and green spaces, all of which combine to give the Parish its strong identity. This report also examines the risks to this identity and how through guidance and clear design principles, the rich historic character of Over Wallop Parish can be protected whilst ensuring that positive, sustainable and appropriate new development is supported.





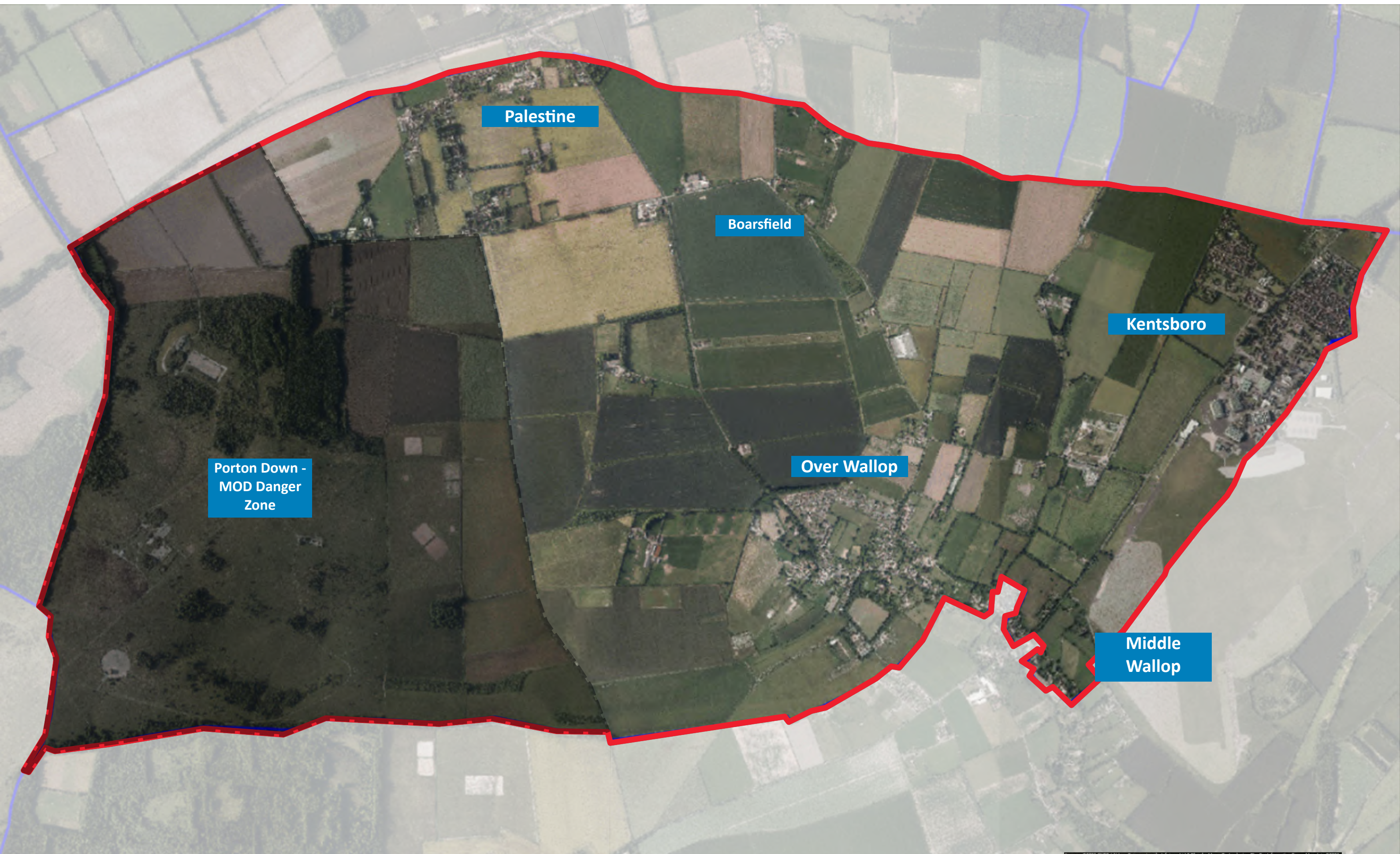


Figure P1: Modern aerial photo of Over Wallop parish showing the relationship between the individual settlements in this appraisal



**INTRODUCTION**

This settlement and surrounding landscape character analysis is intended to be used as a basis for the application of local character and design Policies in the Over Wallop Parish Neighbourhood Development Plan.

The document relates to the Neighbourhood Plan area, which contains the entire parish (although part of the parish - to the west is controlled by the Ministry of Defence with no public access).

For clarity, this document does not refer to the villages of Middle Wallop or Nether Wallop which are outside of the parish boundary. There are however parts of Middle Wallop that do fall within the parish of Over Wallop, with the remaining area within Nether Wallop. These are shown on figure P1.

Instead, the focus is on settlements within the parish and specifically highlights those key elements of important local characteristics to ensure their retention.

A Village Design Statement was produced for The Wallops (collectively) in February 2004. A Conservation Area Appraisal has also been published by Test Valley Borough Council in 2006 (updated 2015). This document has been produced as an update to these documents, but does not supersede any adopted Conservation Area Appraisal.

A number of local history documents are also in circulation, which have contributed to this analysis.

This document primarily deals with those aspects which are deemed necessary to understand the context of the parish in relation to producing evidence to support the Neighbourhood Plan. It is not intended to be a comprehensive historical analysis and other aforementioned documents deal with this in greater detail.

The following pages are arranged by each settlement as shown in figure P1 overleaf.

**National Policy Guidance**

The National Planning Policy Framework (NPPF) was adopted by the Government in March 2012 and revised in February, June 2019 and again in July 2021. All the policies in the NPPF constitute the Government's view of what sustainable development in England means in practice. One of the key dimensions of sustainability is that of design. This is supplemented by a second dimension of protection and enhancing our historic environment. Development that fails to adhere to both the design and the historic environment policies is therefore not considered sustainable development.

The NPPF sets out how the Government intends to deliver sustainable development through the planning process. It expressly states that sustainable development is about achieving positive growth, balancing economic, environmental and social considerations.

Whilst there is a strong presumption in favour of sustainable development, the framework also recognises the finite nature and value of our built heritage and the natural environment.

Section 12 of the NPPF sets out the main policies in respect to the importance of design in the planning process:

- Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- Policies should ensure that developments are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change.
- Permission should be refused for development of poor design that fails to take the opportunities presented by a site.
- Great weight should be given to outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

The following approach is set out for the historic environment:

- There should be a positive strategy for the conservation and enjoyment of the historic environment.
- When considering the impact of proposals on a designated heritage asset, great weight should be given to the asset's conservation. Substantial harm should be exceptional, whilst less than substantial harm should be weighed against the public benefits of the development.

Section 15 seeks to protect and enhance valued landscapes by recognising the intrinsic character and beauty of the countryside and recognising the wider benefits including natural capital and ecosystem services.

**The National Design Guide**

The National Design Guide was published in 2019 and sets out the characteristics of well-designed places and demonstrates what good design means in principle and in practice. It supports the NPPF and is intended to be used by local authorities, applicants and local communities to establish the design expectations of the Government. It identifies ten characteristics which underpin good design:

- Context.
- Identity.
- Built Form.
- Movement.
- Nature.
- Public Spaces.
- Uses.
- Homes and Buildings.
- Resources.
- Lifespan.

This appraisal will draw on the principles of this National Design Guidance to help inform the recommendations.



Source: National design guide, Published 1 October 2019, Last updated 30 January 2021 <https://www.gov.uk/government/publications/national-design-guide>





**Parish Wide Landscape Character Appraisal**

The Test Valley Borough Landscape Character Assessment was published in 2018, having been based on work previous undertaken in 2004.

It follows Natural England’s guidance and identifies twelve landscape character types (LCTs) within the Borough, which are sub-divided into landscape character areas (LCAs).

There are three Landscape Character Types (LCTs) within the Parish.

- LCT 5 River Valley Floor
- LCT 10 Open Chalklands
- LCT 11 Chalk Downland Ridges

These are subdivided into smaller Landscape Character Areas (LCAs). The relevant local LCAs are shown on the map adjacent.

There are four distinct LCAs within the Parish

- LCA5F Wallop Brook Valley Floor
- LCA10C Thruxton and Danebury Chalk Downland
- LCA10G Cholderton Downs and
- LCA11A Quarley Hill Downs.

The main points relevant to the Neighbourhood Plan area are summarised below.

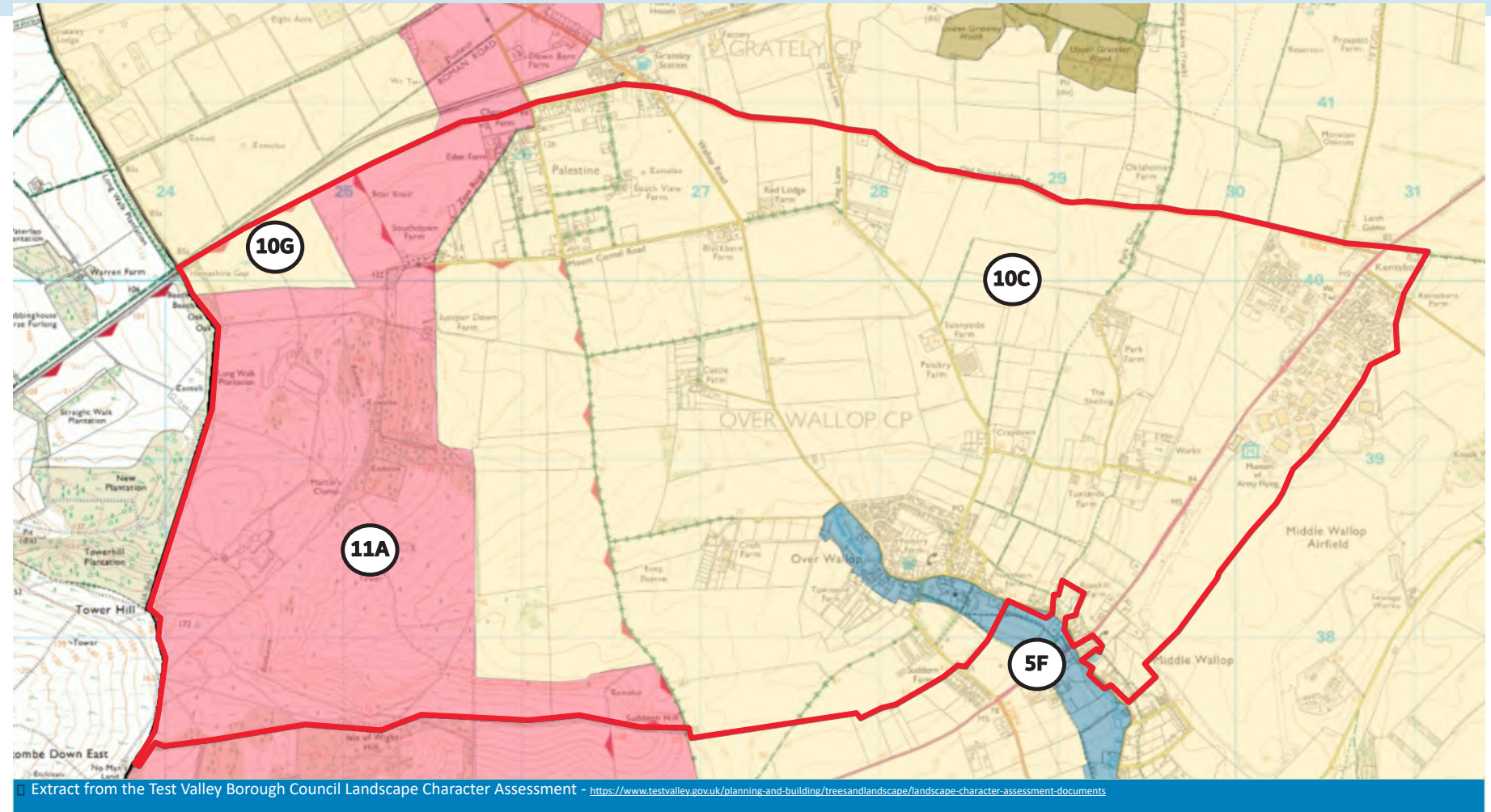
**LCT5 River Valley Floor**

General Description

The River Valley Floor Landscape Character Type is a prominent feature of the Test Valley Borough landscape, linking many of the other landscapes. The river valleys which extend through the Test Valley fall into two principal categories; the wider flat-bottomed valleys of the main river systems and the narrower valleys with steeper sides which contain either tributaries of the main river system or bournes/winterbournes. The valleys are predominantly under pasture, with characteristic waterside tree species such as willow and alder aligning individual watercourses with areas of meadow grassland, reedbeds, marshlands and other wetland habitats.

Overview

The River Valley Floor landscape area within the Parish follows the line of Wallop Brook, which is located to the south side of Station Road within the



settlement of Over Wallop. It emerges from a pond at the corner of Station Road and Pottery Drive, to the northwest of the village. Wallop Brook is one of six tributaries within the district which flows into the River Test.



The TVLCA describes LCA5F as:

The Wallop Brook Valley Floor is a narrow valley with relatively shallow gradient and varied landscape character. The area includes loosely populated linear settlements, Over Wallop being one, which contrasts with undeveloped sections which include meadows, pastures and woodlands.

**Historical Influences**

The section of River Valley floor character which passes through the parish is influenced by catchwork water meadows, which take advantage of steep

valley sides and lower valley floor gradient. Over Wallop has a Conservation area and a number of listed buildings within the Parish Area.

**Settlement Pattern**

This landscape character type extends through historic settlement cores, which have expanded since the 18<sup>th</sup> Century along the valley and up into surrounding downland.

**Key Natural and Cultural Landscape Issues**

- Impact of noise from adjacent roads and loss of tranquillity
- Expansion of properties within settlements urbanising the landscape character
- Risk to water quality through the pollution of the river and its tributaries

**Landscape Management Guidelines**

- To conserve and enhance watercress beds and historic character and restore the small-scale former water meadows





- Maintain the pastoral landscape pattern
- Maintain the distinctive historic cores of each settlement and their separation.

### LCT10 Open Chalklands

#### General Description

The Open Chalklands landscape character type is a large-scale arable landscape, characteristic of the most extensively farmed chalkland areas, where the chalk geology is generally not masked by the deposit of Clay with Flints. The hedgerow structure is fragmented and commonly replaced by fences, adding to the open landscape character. A limited number of small, hedged pasture fields are found adjacent to settlements and farmsteads. Blocks or belts of trees occasionally break up this open landscape but are infrequent with isolated woodlands often found adjacent to farmsteads. Small streams or winter bournes divide the type but generally it is noted for its dry valleys.

#### Overview

The open Chalkland landscape character covers most of the Parish.

The TVLCA describes LCA10C as:

Thruyton and Danebury Open Chalkland landscape type is characterised by extensive open scale arable farming with a weak hedgerow structure and semi natural woodland as small copses and shelter belts. Areas of woodland within the Parish include areas located close to Castle Farm, Juniper Down Farm and Croft Farm.

The Parish also contains a small section of LCA10G, located to the far west of the Parish, to the south of the railway line.

The TVLCA of Cholderton Downs is described as valley farmland.

### Historical Influences

The Open Chalkland is dominated by extensive parliamentary field systems dating to the 19<sup>th</sup> Century, with isolated strands of woodland and parkland. Over Wallop has a designated Conservation Area. In addition there are a number of Scheduled Monuments within the Parish including Bowl Barrows at Martins Clump and northeast of South View Farm and a Long Barrow west of Croft Farm. There are also several listed buildings within the area.

### Settlement Pattern

The Open Chalkland Area comprises several settlement types. Primarily those on fertile agricultural landscape are nucleated while those on lower ground and in the valleys follow linear street patterns.

Farmsteads within the surrounding agricultural landscape are often very dispersed and sit within well-developed farming ‘territories’.

#### Key Natural and Cultural Landscape Issues

- Potential and visual impact of solar panels
- Requirements for large scale farm buildings and conversion of redundant buildings
- Impact of tall communication structures
- Expansion of settlements
- Further enlargement of fields and loss of hedgerow.
- Loss of dark night skies and tranquillity

#### Landscape Management Guidelines

- Maintain sense of remoteness and tranquillity
- Protect open vistas
- Protect hedgerow, woodland and trees
- Improve hedgerow as robust boundary features around areas of solar panels
- Seek opportunities for new woodland planting to link existing wooded areas

### LCT11 Chalk Downland Ridges

#### General Description

The Chalk Downland Ridges are distinguished by a series of small hills forming a ridgeline with sculptural and often dramatic scarps.

The type is a mix of arable, with a weak hedgerow structure and groups of hedgeless fields creating further larger open expansive areas, and pasture. Woodlands predominantly located on the more inaccessible slopes, including scarps and adjacent farmsteads to provide enclosure.

#### Overview

The Chalk Downland Ridges are similar in character to the Open Chalklands and are located to the west side of the Parish.

The TLCA describes LCA11A as:

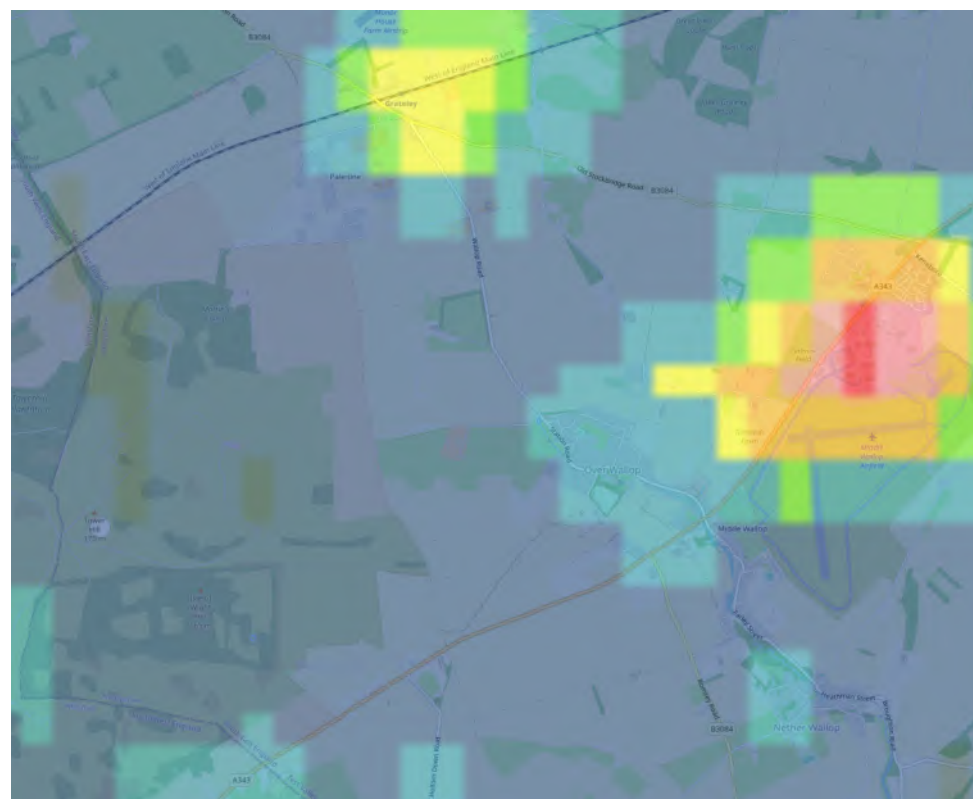
Quarley Hill Downs as being distinguished by the prominent topography and extent of unimproved chalk grassland. The landscape comprises loose alignment of small hills, ridges and valleys with some scarps, in contrast to the flatter open plains of the Open Chalkland Landscape area.

### Historical Influences

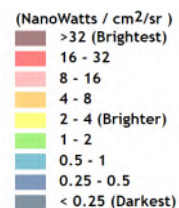
As a topographic highpoint, this area has attracted interest as ridgeways by which landscape can be traversed and as a defensive position for communities. Burial mounds and hillforts are prevalent upon these high points.







<https://nightblight.cpre.org.uk/maps/> © OpenStreetMap contributors © Natural England copyright 2016. Contains Ordnance Survey data © Crown copyright and database right 2016. Earth Observation Group, NOAA National Geophysical Data Center. Developed by LUC



Each pixel shows the level of radiance (night lights) shining up into the night sky. These have been categorised into colour bands to distinguish between different light levels. Please see the [REPORT](#) for more information on this.

### Settlement Pattern

There are no modern settlements within the Chalk Downland Ridges although part of the low-density settlement of Palestine village is partly within the area.

### Key Natural and Cultural Landscape Issues

- Loss of biodiversity and archaeological features due to intensive farming
- Isolation of patches of unimproved chalk grassland habitat
- Hedgerow fragmentation and loss
- Declining farmland bird populations

### Landscape Management Guidelines

- See opportunities to enhance and extend hedgerow structure
- Restore hedgerows, encourage replanting of former hedgerow lines
- Maintain existing pattern of woodland cover
- Promote good management of woodlands



### Recommendations for the Neighbourhood Plan

Neighbourhood Plan policies should be proposed for the following aspects:

- **LAND1** - Limit the adverse impact of solar panels and other similar renewable energy schemes, large scale farm buildings, communication structures and other major development in the countryside through appropriate siting and landscaping. This should take into account the open landscape and important views, as well as the general topography.
- **LAND2** - Consider a policy relating to dark night skies - although there is light pollution around Kentsboro, the remainder of the parish has very little such pollution.
- **LAND3** - Support should be provided for policies which create new woodland and hedgerow planting and measures to prevent their loss.
- **LAND4** - Maintain the identity of settlements and prevent any development which would lead to large scale coalescence. The Wallop villages, although contiguous in nature and run along the Wallop Brook line, are generally linear in form and loss of this and their individual character should be resisted.
- **LAND5** - Protect the Wallop Brook, its source and unique character.





Figure OW.1: Present day aerial photo of Over Wallop



**Overview and History - Over Wallop Village**

The village of Over Wallop sits to the south east of Over Wallop parish (see parish plan Figure P1), in Test Valley District. It is nestled along the valley floor of the Wallop Brook, with rising topography on either side and long distance views.

The origin of the name Wallop is believed to be derived from Old English words waella and hop relating to the spring running through the valley, hence the naming of Wallop Brook.

A full history of the parish is contained within the Wallops Character Appraisal updated by TVBC in 2015.

The purpose of this section is to understand the pattern of development to inform future development and any relevant Neighbourhood Plan policies.

The villages run continuously into the other Wallop villages of Middle Wallop, and Nether Wallop, of which the latter are separate villages, but both situated in Nether Wallop parish.

Over Wallop was mentioned in the Domesday Book (1086) as being called other Wallope with 22 villagers and 16 smallholders. This is comparison to an entire parish wide population of 2,429 according to the Parish Profile published in 2021.

The plans on this page highlight the nature of development over time. Figure OW2 (approx 1805) shows the main concentrations of development.

In particular it highlights that part of Middle Wallop

to the east falls within the modern parish boundary. Historically however it is clear that it is a separate village.

The central focus of the village of Over Wallop is around the church and leading northwards and to the west at Townsend Manor.

The majority of development is a single plot in depth and stretching in a linear form along the lanes. This type of settlement form is known as a 'regular row' settlement, with plots and field patterns adjacent being fairly uniform in nature.

Individual cottages generally face the lane and are sited close to the road. Farm buildings are laid with associated barns and other buildings set in clear courtyards. Former commercial properties or community buildings usually reflect their functional requirements.

By the 1888 plan (figure OW3), there had been little change, but the map clearly shows the extents of properties sited largely along the route of the Wallop Brook.

The large majority of dwellings are cottages, which are usually either detached or semi-detached, potentially having been smaller dwellings originally and then subsequently combined.

There are numerous farm related dwellings, whether it be the main farm house, farm workers houses or converted agricultural buildings (see areas of historical importance for key farmsteads and other

community focal points). There are few remaining commercial or community buildings.

Later Google Earth aerial photography from 2001 to 2019 shows the extent of more modern change. The once linear village now surrounds a central green area in the heart of the village. Development has taken the form of estates at Evans Close (1), Pound Road (2), Appleton Close (3), Fine Acres Rise (4), and Printers Place (5). Such development has not been reflective of the historic character of the village, particularly where it is in-depth in form and generic in design and appearance.

Further smaller scale development has taken place on land to the east of Orange Lane (7), Townsend Farm (6) and to the rear of the Old Coachworks (8). There has also been a gradual change of agricultural land into gardens or amenity land. Whilst some development has successfully integrated with the overall pattern of built form, others have over developed the plots with excessive built form.

The original settlement and field pattern is still generally visible.

The history of the village and the influence of the Wallop Family (Earl of Portsmouth) can be seen on many buildings, which display the family crest.



Figure OW.2: 1805 Ordnance Survey Map of Over Wallop

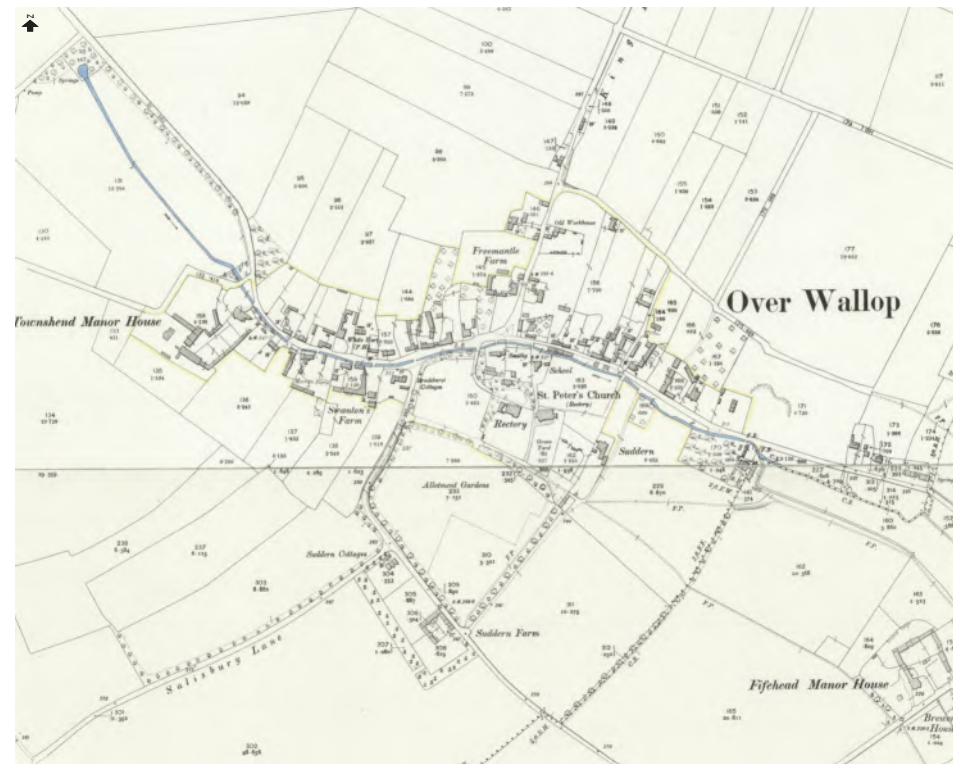


Figure OW3: 1896 Ordnance Survey map highlighting the historic growth of the village. \* Plan not to scale



Figure OW4: 2001 Aerial photo of the village.



Figure OW5: 2005 Aerial photo of the village.



Figure OW6: 2019 Aerial photo of the village.



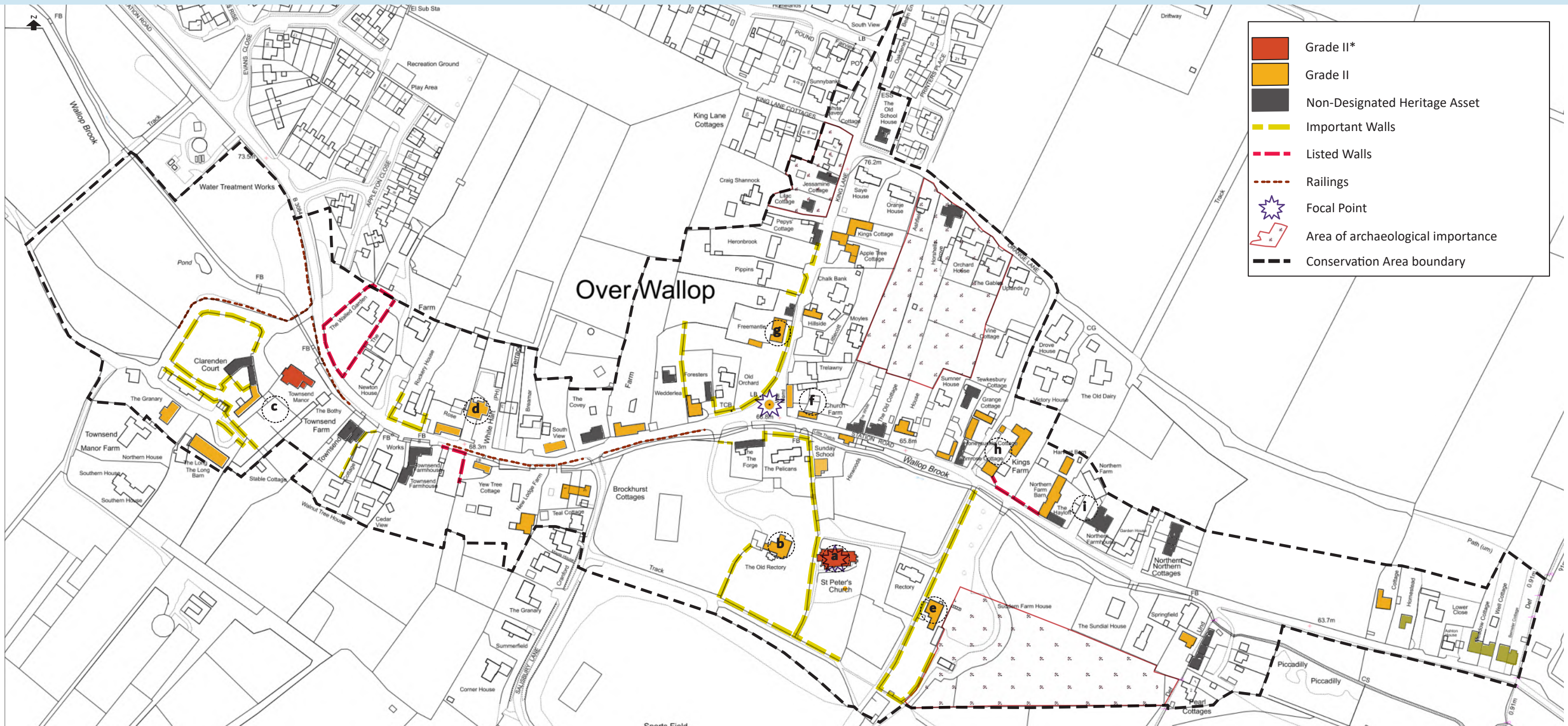


Figure OW7: OS Present day plan of Over Wallop with designated heritage assets and locally important buildings identified as well as other features and structures of importance. \* Plan not to scale

**Designated and Non-Designated Heritage Assets**

The above plan of the Over Wallop Conservation Area has been updated from the Conservation Area appraisal undertaken by TVBC in 2015. Since this time, there has been further major development in the village and this plan reflects this.

The plan shows the listed buildings highlighted in red (Grade II\*) and orange (Grade II). The buildings highlighted in green are considered to be locally important either by virtue of age, interest or historical association and defined within the Conservation Area Appraisal. Full descriptions of designated heritage assets are found within Annex A.

Buildings of Historical Importance within the village are considered to be:

- a. The Church and former Sunday School
- b. The Old Rectory
- c. Townsend Manor
- d. The White Hart
- e. Suddern Farm
- f. Church Farm
- g. Freemantle Farm
- h. Kings Farm
- i. Northern Farm

In addition, there are a number of listed walls highlighted as well as walls which form an important part of the setting of the conservation area. Other key elements are the painted white railings alongside the Wallop Brook, The War Memorial focal point in the centre of the village and the influence of the various historic farms.

The plan overleaf focuses on the natural elements of the village.



**Natural Features, Open Space and Important Gaps**

The natural features in the village play a key role in defining its character.

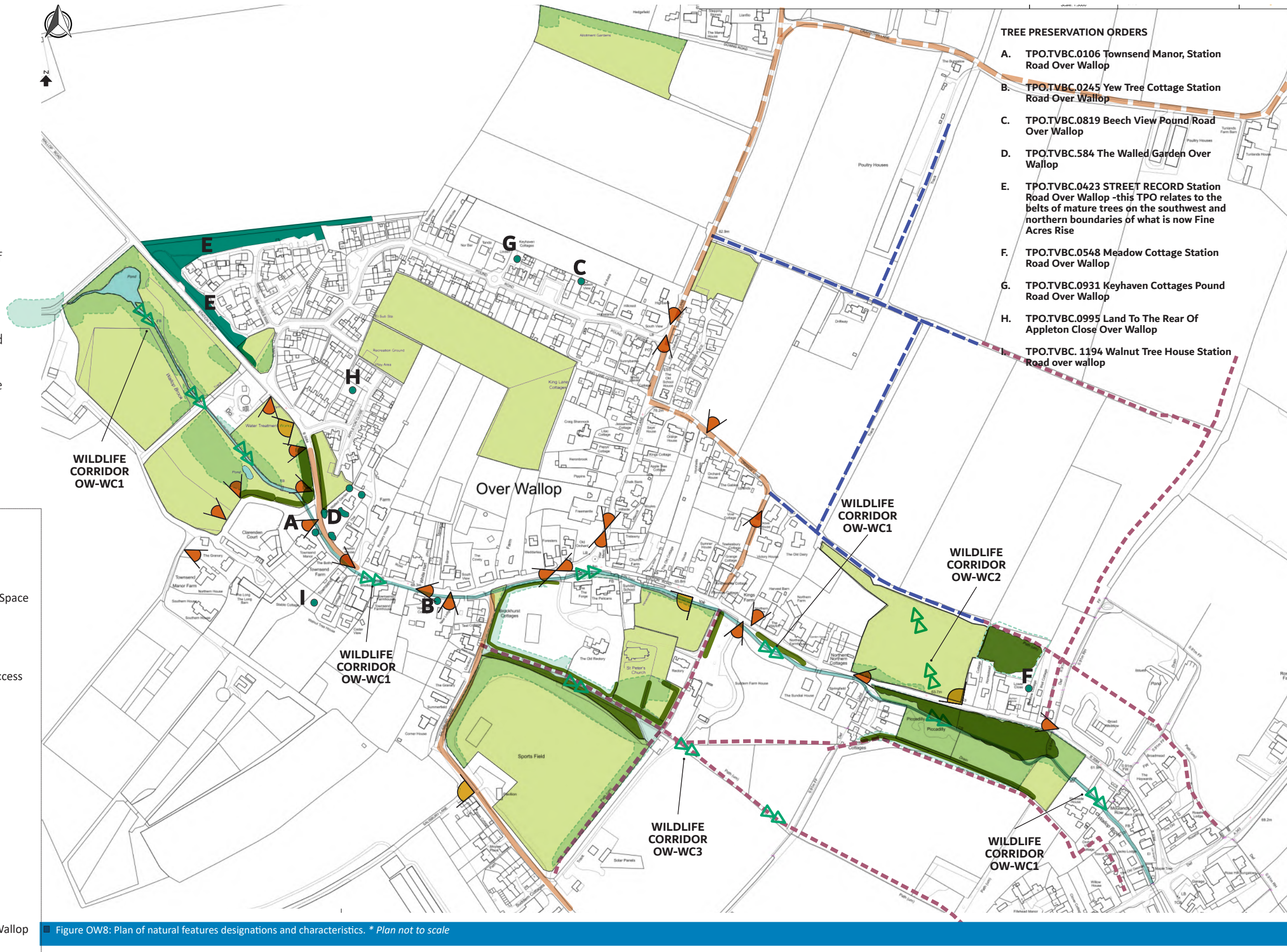
The historic village is centred around the Wallop Brook and this is now a key wildlife corridor running from the source.

There are a number of important green spaces which enhance the conservation area, offer biodiversity opportunities and prevent any further coalescence between settlements.

The green spaces, landscaping and the pattern of gaps between buildings are a key part of the conservation area, giving both views out of the settlement, but also softening views inwards.

Further details on wider landscape views is found within a separate evidence base document.

There are a number of narrow lanes in the village which would benefit from either a Quiet Lanes designation and / or a 20mph speed limit. There should be no introduction of urbanising features into these lanes.



- TREE PRESERVATION ORDERS**
- A. TPO.TVBC.0106 Townsend Manor, Station Road Over Wallop
  - B. TPO.TVBC.0245 Yew Tree Cottage Station Road Over Wallop
  - C. TPO.TVBC.0819 Beech View Pound Road Over Wallop
  - D. TPO.TVBC.584 The Walled Garden Over Wallop
  - E. TPO.TVBC.0423 STREET RECORD Station Road Over Wallop -this TPO relates to the belts of mature trees on the southwest and northern boundaries of what is now Fine Acres Rise
  - F. TPO.TVBC.0548 Meadow Cottage Station Road Over Wallop
  - G. TPO.TVBC.0931 Keyhaven Cottages Pound Road Over Wallop
  - H. TPO.TVBC.0995 Land To The Rear Of Appleton Close Over Wallop
- TPO.TVBC. 1194 Walnut Tree House Station Road over wallop




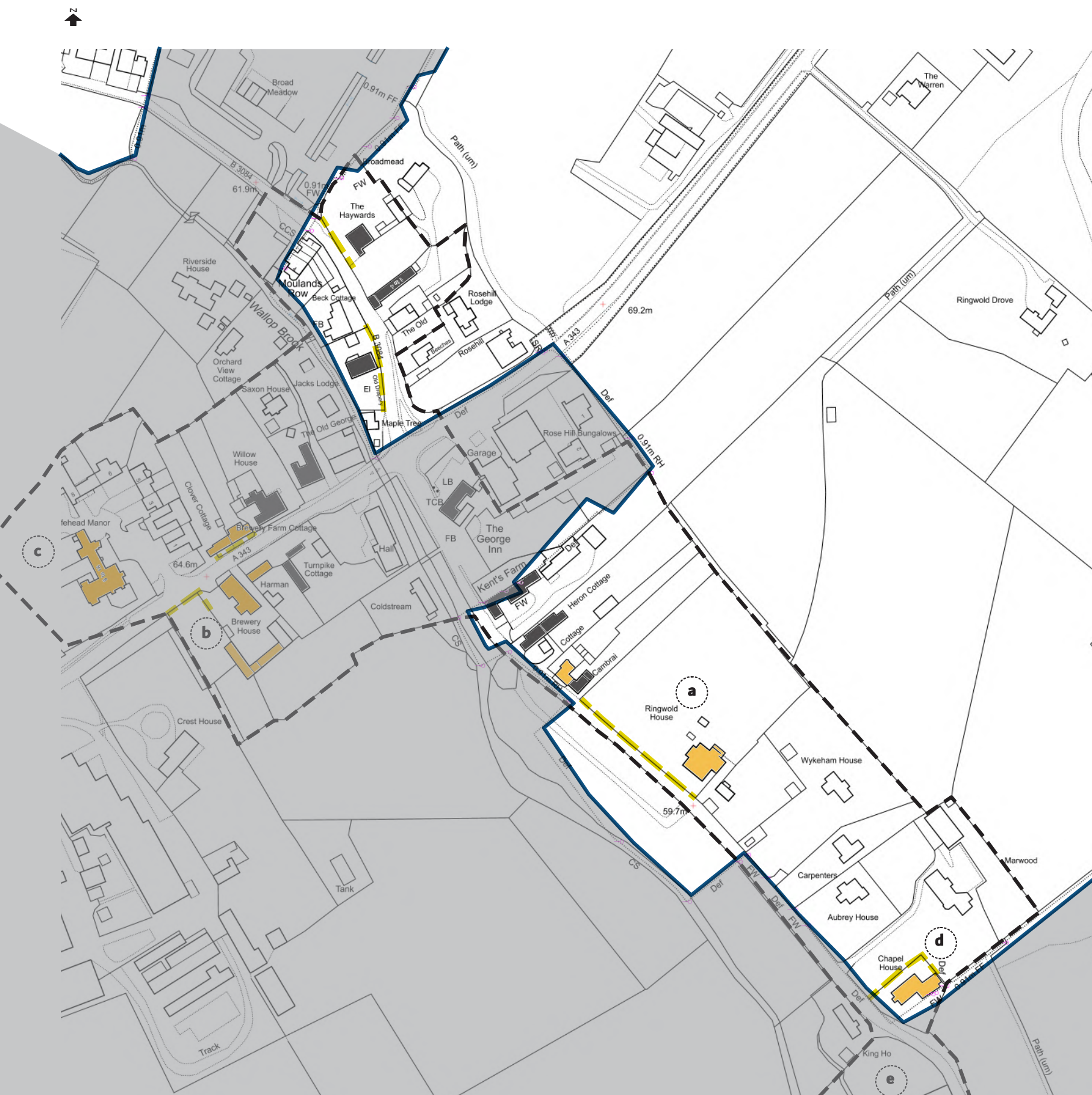
-  Tree Preservation Order (woodland/ individual)
-  Important trees or group of trees
-  Important Green Space (see separate Local Green Space Assessment for proposed designations)
-  Pond
-  Rural road / lane, single vehicle width / reduced access
-  Wallop Brook watercourse
-  Public Footpath
-  Permissive path/ informal path
-  Bridleway
-  Important view
-  Longer distance view
-  Potential Wildlife Corridor
-  Biodiversity Opportunity Area (in addition to the Wallop Brook)

Figure OW8: Plan of natural features designations and characteristics. \* Plan not to scale





### Designated and Non-Designated Heritage Assets

The above plan of the Middle Wallop Conservation Area has been updated from the Conservation Area appraisal undertaken by TVBC in 2015. Due to the nature of the parish boundary, parts of Middle Wallop and the Conservation Area are within Over Wallop Parish.

The areas outside the boundary are washed over in grey to highlight those properties outside the Plan area.

The plan shows the listed buildings highlighted in orange (Grade II). The buildings highlighted in green are considered to be locally important either by virtue of age, interest or historical association and defined within the Conservation Area Appraisal. Full descriptions of designated heritage assets are found within Annexe A.

Buildings of Historical Importance within the village are considered to be:

- a. Ringwold House
- b. Brewery House (outside Plan area)
- c. Fifehead Manor (outside Plan area)
- d. Chapel House
- e. Haydown Farm (outside Plan area)

In addition, there are a number of walls which form an important part of the setting of the conservation area. Walls and hedges here create a good sense of enclosure.

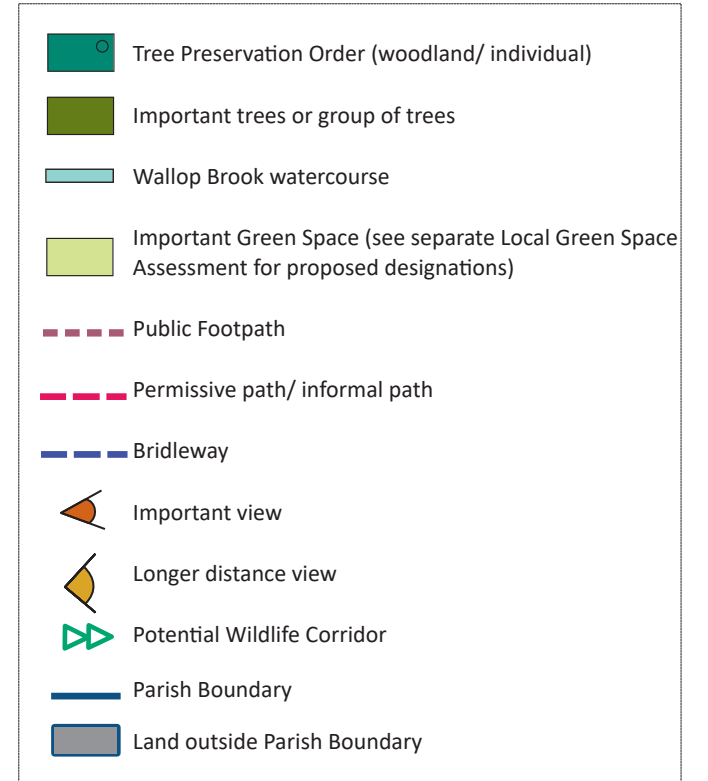
The plan overleaf focuses on the natural elements of the village.





**TREE PRESERVATION ORDERS**

- A. TPO.TVBC.168 Rosehill House, Salisbury Hill Middle Wallop
- B. TPO.TVBC.0665 2 Moulans Row Station Road Middle Wallop
- C. TPO.TVBC.656 Opposite Ringwold House Farley Street Nether Wallop
- D. TPO.TVBC.0156 Marwood Farelly Street Nether Wallop



**Natural Features, Open Space and Important Gaps**

The natural features in this part of the Plan area play a key role in defining its character.

As with Over Wallop, this part of Middle Wallop within the parish of Over Wallop is centred around the Wallop Brook which is a key wildlife corridor running from the source. The Brook itself is not in the Plan area here, but it does run along the parish boundary and neighbouring uses are influenced by it.

There are fewer important green spaces here than in other parts of the Parish, due to the level of increasing built form.

The historic watercress beds opposite Ringwold House are an important to the Plan area. These can be seen on historic maps and old photos of the area. Many of these beds are being reduced in size or lost in the south of England as a whole and not just the Plan area. With continued positive management, the excellent water quality allows a good range of aquatic invertebrates to thrive in such conditions. Irrespective of the use of the land, this is an important open area and setting to a listed building.

The green spaces, landscaping and the pattern of gaps between buildings are a key part of the conservation area, giving both views out of the settlement, but also softening views inwards.



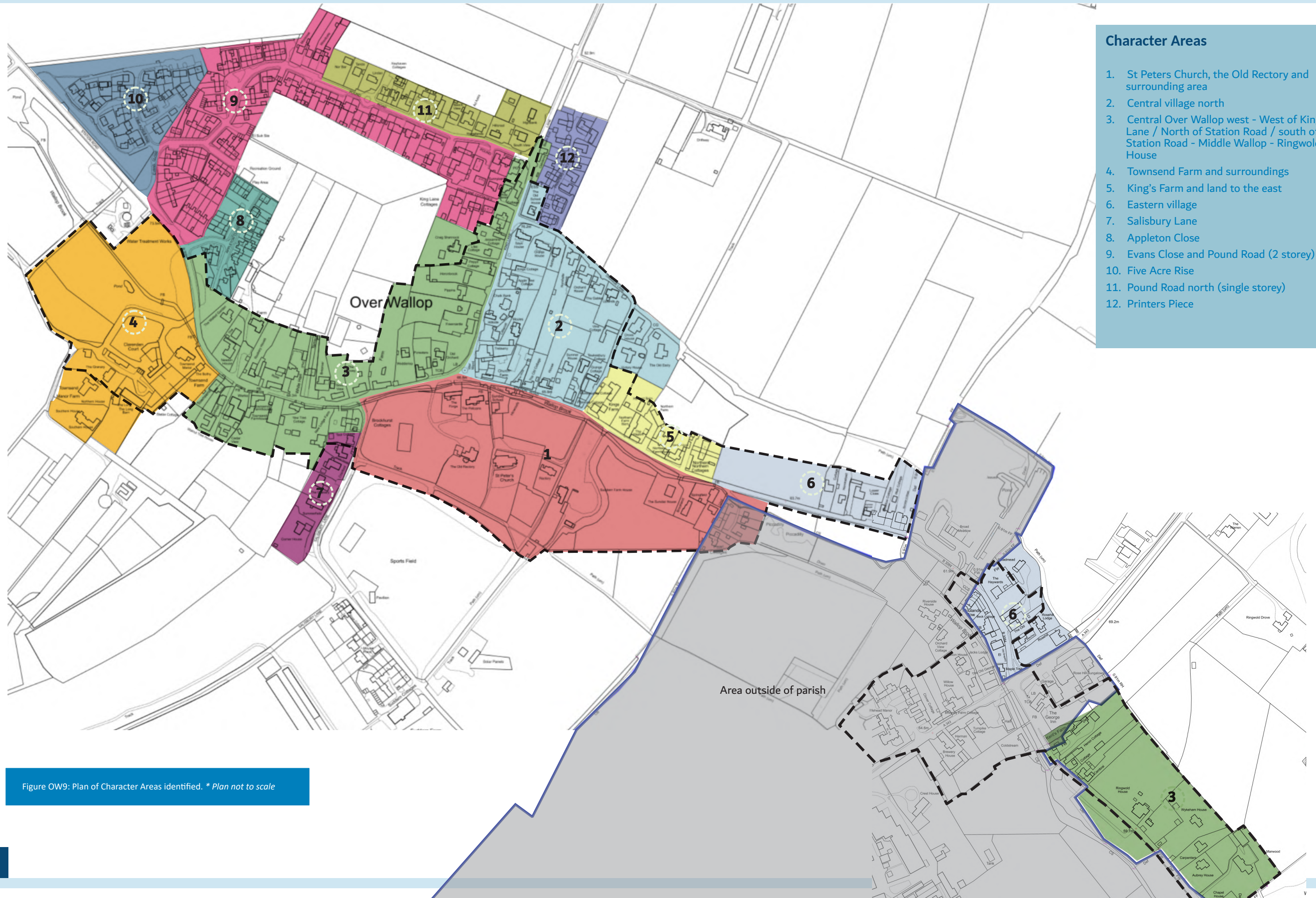


Figure OW9: Plan of Character Areas identified. \* Plan not to scale





**Density and Plot Sizes**

The average densities of residential areas in Over Wallop were calculated based on the average number dwellings per hectare (dph). To calculate this only the plots in the character areas are included and any agricultural land or commercial / community properties.

Densities in the area range from 3.8 dwellings per hectare (dph) to just over 32 dph (figure OW13).

The lowest density areas correspond with the large detached properties around the Church, which also benefit from a very low plot ratio, with buildings occupying less than 10% of the plot.

This is followed by dwellings in the Townsend Manor area, which have an average density of 4.5dph.

The areas to the north and south of Station Road and along King Lane have a very low density ranging from 6.2dph to 8.6dph

The highest density occurs in the modern estate development at Appleton Close (32 dph), Evans Close (38dph), Fine Acre Rise (32 dph), South of Pound Road (23 dph) and Printers Place (30 dph).

Densities should reflect those of the historic areas rather than the in-depth estates, which do not represent the character of the parish.

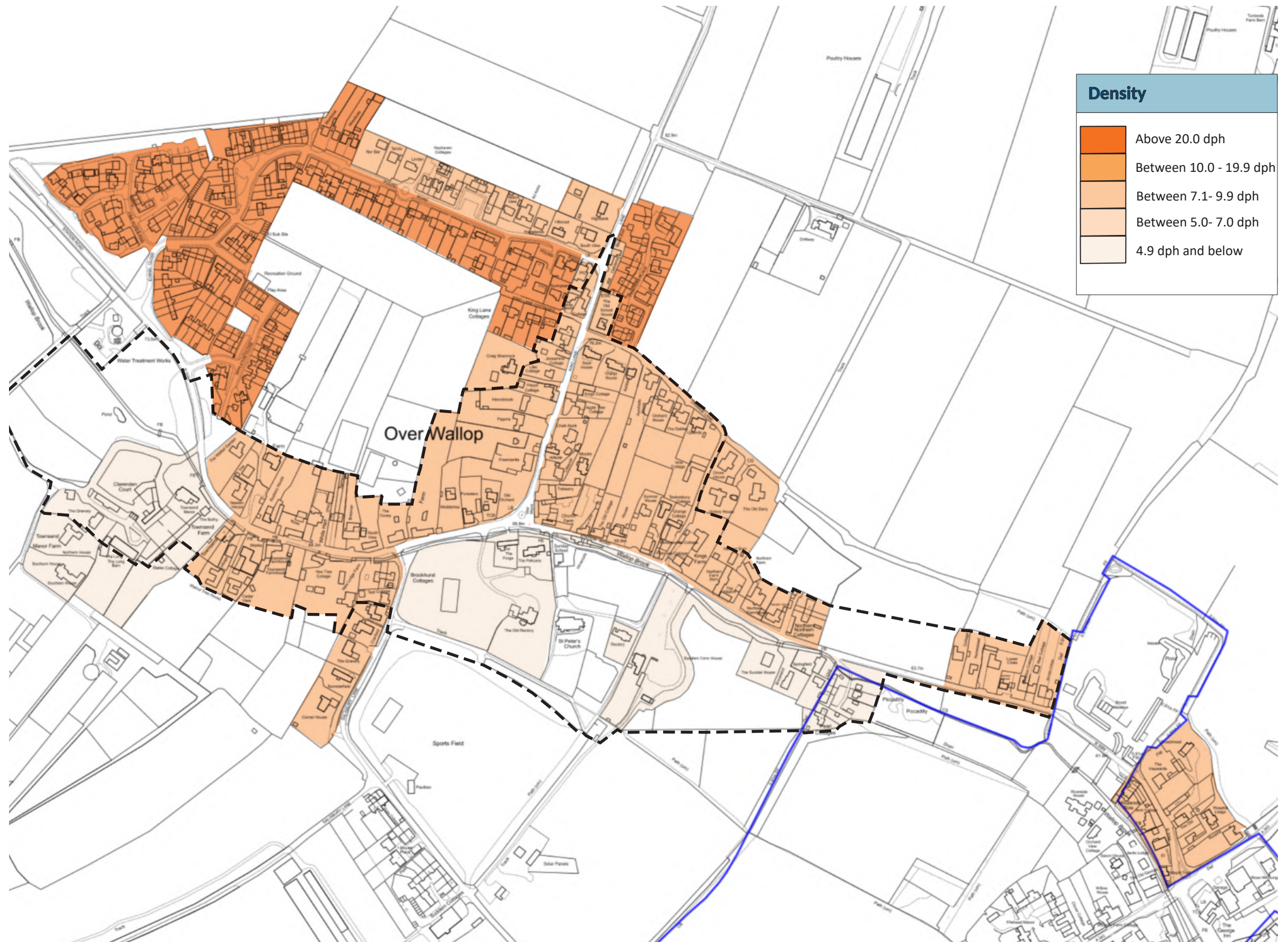


Figure OW10: Density plan. \* Plan not to scale





**Typology**

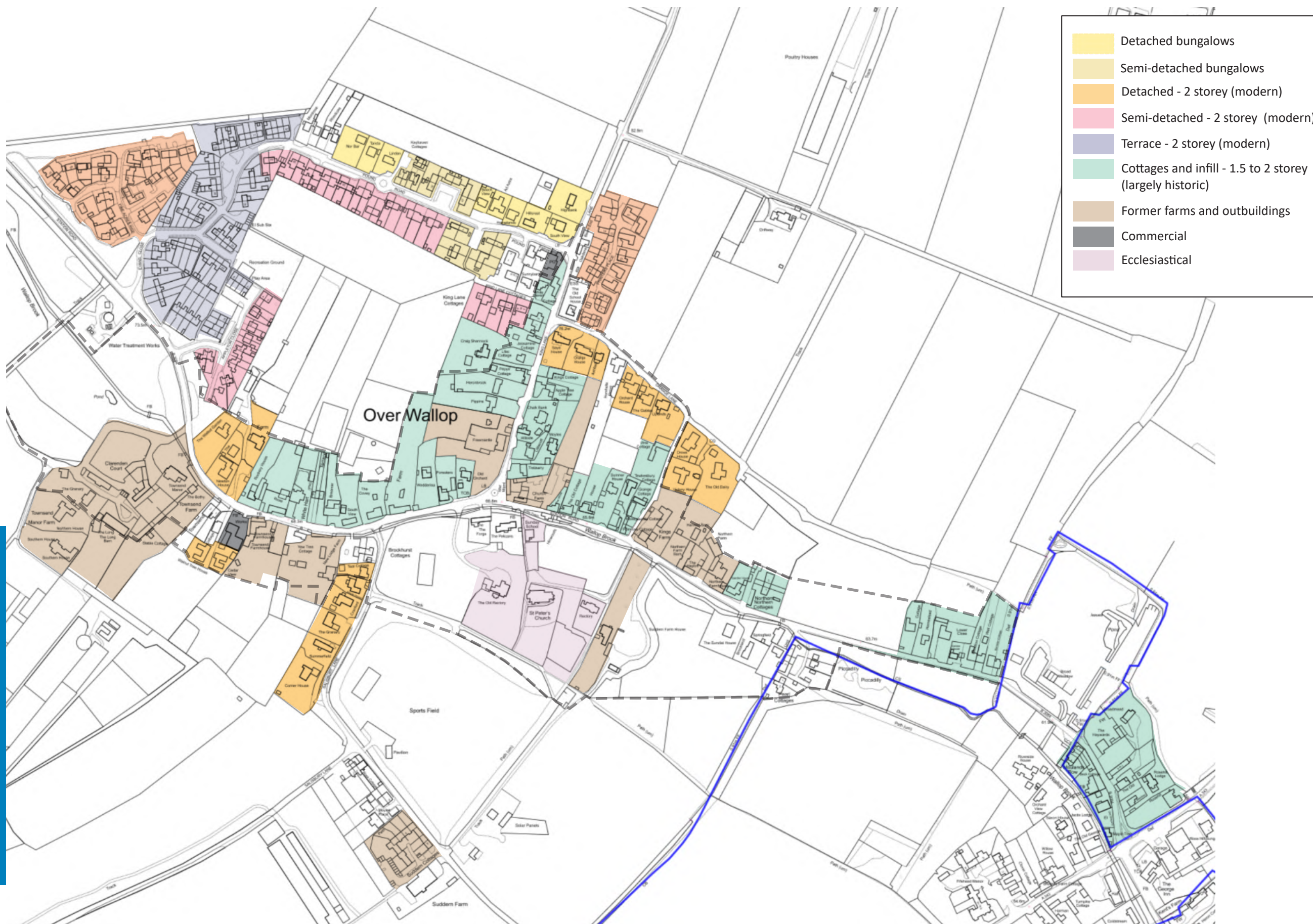
**The village contains a number of different typologies.**

Historically dominated by farms, associated outbuildings and related farm workers cottages. Many of the farms and historic farmyard layouts are still visible today and should be retained in the future.

Historic cottages found in the core are typical 1.5 to 2 storey in height with later infill of a similar scale.

Modern estate development has changed the village beyond the core. With two storey semi-detached and terraced dwellings to the north and west. There are also limited numbers flats on Pound Road.

Individual, detached dwellings usually single or 1.5 storeys are found within larger plots around the edges of the settlement and are usually replacement or infill properties.



**Settlement Hierarchy Designation Under Local Plan Policy (COM2)**

Over Wallop Village / Part of Middle Wallop Village - Rural Village

**Associated Scale of Development Permitted in Adopted Local Plan:**

- Windfalls (within settlement boundary to support and sustain the local community)
- Rural Affordable Housing sites
- Replacement dwellings
- Community-led Development
- Small business uses
- Re-use of Buildings

Figure OW11: Typology plan. \* Plan not to scale



Character Area 1 - St Peters Church, the Old Rectory and surrounding area



The Church Hall (also known as the Sunday School) - mid 19<sup>th</sup> Century - flint with brick quoins and decorative brick banding. Diamond light, arch topped windows and plain clay tile roof. Was the village school from 1853 until closure 1895. A new school building was erected in the same year on the old BAS Printers site off Horshells Drove (now Printers Place), which eventually closed in 1933.



The Wallop Brook in summer and winter months. The brook is set in a wide verge separated from the road by white painted railings. Generally well vegetated in this area, and opening up to give views in the winter. The access to dwellings is usually via a bridge with a low key gravel drive. Gardens are generally contained by walls or hedges.



St Peter's Church from the churchyard (top) and from green space (bottom). Whilst the church originally dates back to the 12<sup>th</sup> Century, it was significantly altered and restored in 1975 including the building of the tower and chancel. The churchyard to the east and south contained by important walls, whereas the land to the north opens out onto a large open space adjacent to Station Road. This piece of land is considered to be a key setting to the church.



The Old Rectory - 18<sup>th</sup> Century - local brick with blue headers and plain clay tile roof. Decorative brickwork and gable detailing as well as feature chimney stacks. Building set deep into the plot accessed by long gravel drive.



OS Base overlaid onto the aerial photo of the Character Area

DESIGN CODE TO SUPPORT NEIGHBOURHOOD PLAN - AREA 1

- **OW1A - Low density development** - featuring large high status buildings set in significant plots. These include the Church, the Old Rectory and Suddern Farm House.
- **OW1B - Trees and Planting** - Development should be contained by the landscape with mature focal trees and substantial boundary planting retained and enhanced by native species
- **OW1C - Siting** - Focal buildings are set well back from the road, deep into their plots. Cottages abutting the roadside or historic lanes are found to the east of Station Road.
- **OW1D - Gaps** - The gaps between dwellings and the important green spaces are a key feature and enhance the setting of the largely listed or locally important buildings. These gaps offer both ranging and glimpsed views, particularly dependant on seasonal changes.

- **OW1E - Setting** - Modern development has the potential to adversely impact the conservation area due to form, siting, layout and setting issues. In particular, modern dwellings have begun to erode the important setting of Suddern Farm and open space to the north. It is essential that the gaps and setting is maintained in the future and no further loss either individually or cumulatively is allowed.
- **OW1F - Access** points should remain low key, without substantial entrance structures. Gates should reflect the rural character with five bar gates favoured or traditional, black painted metalwork as appropriate.
- **OW1G - The Wallop Brook** and the surrounding verge should not be adversely impacted by development or highway / private driveway works. Any planting proposed should contain nature species rather than ornamental and should not exacerbate and silting up of the brook or impede water flows.



A range of modern and historic properties are located along Station Road all unified by their generous landscaped plots. The use of tarmac driveways are discouraged in favour of permeable surface materials.



Little Thatch abuts Station Road. The narrow road and heavy traffic use have led to large vehicles damaging the property - hence the need for warning signs.





Character Area 2 - Central village north



Grange Cottage (GII) 18<sup>th</sup> Century Cottage- local brick with blue headers and flintwork to side elevation. Part thatch and part plain clay tile. Attached thatched and weatherboarded barn (GII)



The war memorial is a Latin cross on a square plinth above a four stepped Octagonal base. It is constructed of Chilmark stone (GII). The location at the junction of Station Road and King Lane creates a key focal point in the centre of the village.

In 2019 the memorial was repaired and restored. The above photos show the pre-restoration memorial (left) and after (centre and right). The restored memorial carries the names of WWI parishioners who lost their lives and of those who served, survived and returned to the village, as well as those remembered for service in WW2 and Afghanistan.

The original pillars were badly worn and the words no longer visible. These pillars now line the roadside opposite. Protective kerb stones have been installed to reduce the number of traffic incidents and minimise damage in the future.



Orange Lane is a narrow rural lane bounded largely by buildings, walls or modern fence panels. Whilst the latter is discouraged, the level of enclosure creates an intimate feel is an essential part of the character



(Left) Wayside Cottage (GII) 17<sup>th</sup> Century Cottage - Timber-frame with plaster infill and plain clay tile roof - hipped with swept outshot.

(Right) Primrose Cottage an unlisted Victorian cottage which frames a small private access way to further dwellings to the rear of Wayside.



Modern additions if sensitively designed can be sited attached or adjacent to listed buildings. They should remain subservient to the host building.



Orange Lane has been the subject of modern infill and replacement dwellings and redevelopment. Properties have been large executive dwellings which often do not reflect the prevailing character of the area in appearance, form or layout. A number of dwellings however have used local materials and are more in keeping with their surroundings.

DESIGN CODE TO SUPPORT NEIGHBOURHOOD PLAN - AREA 2

- **OW2A - Siting** - Dwellings are sited close to the road and were one, single plot deep. Linear plots running north-south on Station Road. There has been some backland development in this area, particularly on King Lane and Orange Lane, resulting in irregular plots. These have largely replaced existing outbuildings or been as a result of the conversion of existing buildings. Notwithstanding this, there is potentially an issue with further backland development altering the prevailing character of the area and the historic setting of listed buildings and the conservation area. New development should respect the original street pattern and building line where one prevails.
- **OW2B - Form** - Proposals should avoid square plan form buildings associated with modern generic development. New dwellings have largely ignored traditional building forms associated with cottages in this area, whereas historic cottages are long and linear in form.
- **OW2C - Roof form** - New development should respect the prevailing roof pitch of historic properties rather than shallow, modern roof forms found on many later dwellings.
- **OW2D - Larger scale redevelopment or backland development** has the potential to adversely impact the conservation area due to form, siting, layout and setting issues. Modern, estate style layouts should not be used.
- **OW2E - Focal buildings** are usually the former farm houses and properties of status. There are few opportunities available within the settlement to create modern equivalent properties without sufficient justification. Such buildings often compete for attention with designated heritage assets.



OS Base overlaid onto the aerial photo of the Character Area

- **OW2F - Loss of Small Dwellings** - The majority of the smaller dwellings have been replaced altered / extended or combined into larger properties. There is potential that the stock of smaller dwellings could be lost in the future should this trend continue. Replacement dwellings should not overdevelop the plot or be discordant with surrounding plot sizes and coverage.
- **OW2G** - Open views northwards from Orange Lane give a long range view over the rising land. Such views are being impeded by recent development, these should be maintained in the future.



View eastwards along Station Road towards the War Memorial (GII) and Church Farm (GII) beyond including the rebuilt stable block. Until fairly recently, a working dairy with a herd of Jersey cows housed in the centre of the village.



Character Area 3 - Central Over Wallop west - West of King Lane / North of Station Road / south of Station Road  
- Area around Ringwold House, Middle Wallop



The Wallop Brook in summer months is often dry. The brook in this part of the village is set behind white painted railings with the boundaries of adjacent properties immediately beyond. There is less vegetation here compared to the eastern brook due to the level of containment.



Townsend Manor Farm (formerly Merrits Farm) is an late 19<sup>th</sup> Century house as denoted by the Earls of Portsmouth Family Crest and date.



The White Hart Inn (GII) is an 18<sup>th</sup> Century Public House and a key focal point of village life.



Foresters (GII) is an early 19<sup>th</sup> Century house - local brick with string course detail and slate roof.



The wall surrounding The property known as The Walled Garden is one of a number of listed cob and thatched walls in the village



Freemantle (GII) is a mid 18<sup>th</sup> Century house - red and blue header bond brick with plain clay tile roof. It has a number of outbuildings including a GII listed barn. It was named after its owner Mr John Freemantle

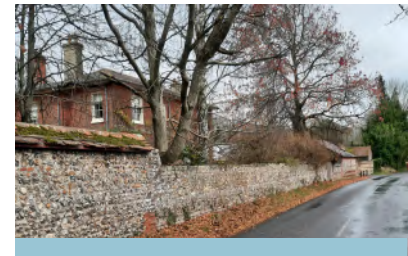


The Old Coachworks is one of the few remaining commercial businesses in the village.



A significant number of dwellings are thatched cottages, generally formed of one or more smaller dwellings. These include:

- Rose Cottage (GII) 18<sup>th</sup> Century Cottage - painted cob, brick and flint,.
- Yew Tree Cottage (GII) 17<sup>th</sup> Century Cottage - painted plaster infill in timber frame.
- Ivy Cottage / Southview- originally a pair of (GII) 17<sup>th</sup> Century Cottages. Timber-frame with colourwashed brick and plaster infill with cob.
- Blacksmiths Farmhouse (GII) 17<sup>th</sup> Century House - timber frame infilled with brick and flint.
- Brockhurst Cottages- row of 16<sup>th</sup> Century Cottages (GII) three dwellings (formerly four). Timber-frame with colourwashed brick and plaster infill with cob additions. There are also discussions over whether this was originally a manor house and home of the Wallop family, although there is no real evidence.



Ringwold House (GII) is a key focal point for Middle Wallop. A building of high status constructed of brick with a slate roof, dating from the early 19<sup>th</sup> Century, set within extensive grounds with mature trees of significance. A prominent (part banded) brick and flint wall forms the roadside boundary and is a key feature in the conservation area.



The Wallop Baptist Chapel (Chapel House) (GII) dates from 1841. It is of significance due to its construction of rendered cob with a slate roof and decorative detailing including stucco quoins, in addition to the cast iron gothic windows.



This part of Middle Wallop has been subject to infill development. New dwellings have been substantial in scale, mass and form. It has been key to retain the mature trees on the site and other trees of amenity value should not be lost as a result of development.

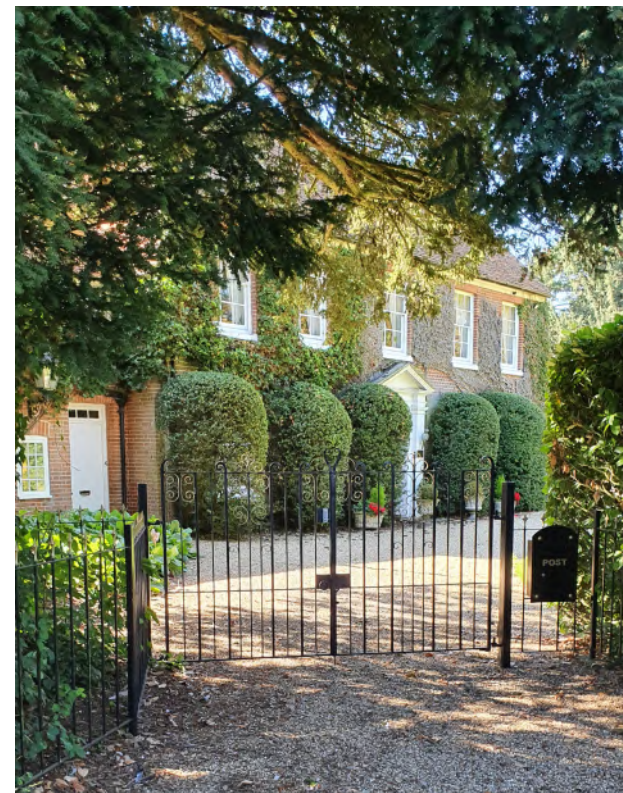
DESIGN CODE TO SUPPORT NEIGHBOURHOOD PLAN - AREA 3

- **OW3A - Siting** - Dwellings are sited close to the road and are one plot deep. New development should respect this pattern.
- **OW3B - Development form** - There are few instances of backland development in the area unless related to conversions or redevelopment of developed sites. New development has not been in keeping with the surrounding design, spacing, massing or siting pattern.
- **OW3C - Infill plots** could have significant potential to adversely impact the conservation area and the setting of listed buildings where these impact upon the identified important gaps and views.

- **OW3D - Overlooking / Overshadowing** The siting and orientation of buildings is such that few issues of overlooking and overshadowing arise. Where such issue occur, this generally relates to the modern backland and in-depth properties, which are not representative of the area as a whole.
- **OW3E - Gardens** -The majority of properties are set in extensive plots, with rear gardens of over 25 metres in depth. Instances of development with rear gardens below 15m are not common. Where this is the case, front or side gardens are generally disproportionately larger and buildings have been positioned to take into account the building line.



Character Area 4 - Townsend Farm and surroundings



The conservation area also includes the land to the west and north of the Manor which forms a parkland setting typical of this type of dwelling and its status.



The wide range of converted outbuildings

Townsend Manor was once the Dower House of the 5th Countess of Portsmouth. It is also noted as possibly the site of one of the Manors of Over Wallop. A mid 18<sup>th</sup> Century Grade II\* listed farmhouse with walls laid in local header bond brick and plain clay tile roof. It is understood that the building contains an earlier 16<sup>th</sup> Century core. It is set in extensive grounds and has a large range of associated farm buildings, which as the photos below show, have now largely been converted for residential or commercial use.



Many of the former farm buildings have been converted to residential use such as The Granary (left) which is Grade II listed as well as the stable range (right)



The site is bounded by an extensive range of cob, brick and brick / flint walls. Whilst not listed these are considered to be an important aspect of the conservation area.

DESIGN CODE TO SUPPORT NEIGHBOURHOOD PLAN - AREA 4

- **OW4A - Conversion of farm buildings** - The buildings associated with Townsend Manor have largely been converted to either residential or commercial use. Future applications should not seek to introduce detrimental residential paraphernalia or erode the original agricultural character of the area.
- **OW4B - Parkland Setting** - Protect the extensive parkland setting to the house, new develop should not erode this character as it is fairly limited.
- **OW4C - Walls** - Retain the important historic walls surrounding the buildings.
- **OW4C - Views** - Maintain the important views as well as the longer views from within and into the site from Station Road.



OS Base overlaid onto the aerial photo of the Character Area



Character Area 5 & 6 - King's Farm and the Eastern Edge of the Village



King's Farm was built in 1738 with later additions in 1832. It is Grade II listed farmhouse constructed of local brick with ornamental blue headers and a slate roof. To the rear of the property are two further Grade II listed buildings - a barn and a granary both constructed in weatherboarding. A cob and flint boundary wall separates this farm from the neighbouring Northern Farm to the east.



The Grade II Listed cob and flint boundary between King's Farm and Northern Farm to the east.



Northern Farm with its range of associated farm buildings in a traditional complex. The farmhouse is not listed, but the outbuildings are. As a group it makes an important contribution to the street scene.



Outbuildings and extensions should remain subservient to the host dwelling.



The unlisted Northern Farmhouse with modern cartshed and the new build property of Garden House adjacent.



The verdant setting of this part of the village. Boundary hedgerows are an important feature and should not be replaced by close board or panel fencing along the road frontage.



DESIGN CODE TO SUPPORT NEIGHBOURHOOD PLAN - AREAS 5 & 6

- **OW5/6A - Siting** - Dwellings are linear in form and sited close to the road and are one plot deep. New development should respect this pattern.
- **OW5/6B - Farm layout** - Avoid development which erodes the traditional farm courtyard layout, which are still clearly visible.
- **OW5/6C - Farm buildings** - Repair and restore farm outbuildings with appropriate materials and replace unsightly modern materials.
- **OW5/6D - Parking of vehicles** should not dominate the street scene, including the erection of car barns and garages
- **OW5/6E - Walls** - Maintain boundary walls with original materials and discourage the use of inappropriate closeboard or panel fencing.
- **OW5/6F - Open space / gaps** - Retain the open space which separates the farms and development to the east.
- **OW5/6G - Views** - Maintain the northerly views over the open fields.



Character Area 7- Salisbury Lane



**DESIGN CODE TO SUPPORT NEIGHBOURHOOD PLAN - AREA 7**

- **OW7 - Siting** - Dwellings are sited close to the road and are one plot deep. New development should respect this pattern.
- **OW7 - Form** - Avoid square plan form buildings and unsympathetic materials such as machine made bricks and concrete tiles associated with modern generic development.
- **OW7 - Rural Lanes** - Respect the prevailing semi rural character and the narrow, deep winding Salisbury Lane. Proposals should not seek to remove vegetation from the front of plots nor urbanise the lane. New driveways should be low key, informal with permeable surfacing and no large gateway features.
- **OW7 - Coalescence** - Prevent sprawl of development into the open countryside to the south and coalescence between properties further along Salisbury Lane towards Suddern Farm.



OS Base overlaid onto the aerial photo of the Character Area



## Character Area 8, 9 and 10 - Mid to Late 20<sup>th</sup> Century Development



Over Wallop was the subject of considerable change in the after WWII. The development of Evans Close replaced the RAF complex known as B Camp. Originally the land was covered in Nissen huts, which remained until replaced by permanent homes, first constructed in Pound Road and later in Evans Close.

This area contains a mix of dwellings dating from the 1950s to 1980s. These range from single storey bungalows, to chalet style 1.5 storeys and two storey houses and flats. The estate style developments are very different to that of the remainder of the village and reflect the pattern book designs of the time.



The village store and post office is situated on the corner of Pound Road and King Lane.

### DESIGN CODE TO SUPPORT NEIGHBOURHOOD PLAN - AREAS 8, 9 & 10

- **OW8/9/10A - Siting** - Dwellings are in front gardens a short distance from the road and are one plot deep. There are limited backland plots. New development should respect this pattern.
- **OW8/9/10B - Typology** - No one specific type of development prevails, although there are pockets of uniformity relating to the various estate designs. The land to the north of Pound road however is more individual and opportunity exists here to be more innovative in design responses.
- **OW9/9/10C - Level of Built form on a plot** - Redevelopment proposals should not overdevelop the plots and schemes should be in accordance with the density calculations.



OS Base overlaid onto the aerial photo of the Character Area



Character Area 11, 12 - Post 2000 Development



More recent development since 2000 has been in the form of estate style development. This has been very different to that of the historic settlement pattern, with significantly higher densities and ratio of plot coverage.

The estate layouts are in depth and utilise parking courts and building forms which are generic rather than site specific.

Buildings are much more urban in appearance with less vegetation and smaller garden areas. Materials do not represent that of the local vernacular and are not specific to this part of Hampshire.

DESIGN CODE TO SUPPORT NEIGHBOURHOOD PLAN - AREAS 11 & 12 (and adjacent)

- **OW11/12A - Open Space and Landscaping** - Densities are high and do not respond to the surrounding character of the area. There is limited space for any additional development without removing either important open space or landscaping features. Such features must be retained as they are essential to the integration of new development.

- **OW11/12B - The appearance of new development** should be more site and area specific and consider local and historic form, siting, layout and setting of heritage assets.
- **OW11/12C - Road layouts** - should respect the historic form. Long winding culs-de-sac are not appropriate. Smaller courtyards and those layouts associated with farmyards are more appropriate where no through routes are required.



OS Base overlaid onto the aerial photo of the Character Area - Printers Place



OS Base overlaid onto the aerial photo of the Character Area - Fine Acres Rise





**OW.I - WALLING MATERIALS** - Timber frame with brick / Cob infill.  
Decorative brickwork detailing, string courses, quoins / dressings  
Flint panels and courses between brickwork

Light painted brick and cob. Render is more limited to modern properties

Handmade facing brickwork - red / orange with grey/ blue/ burnt headers and string course detail



**OW.II - ROOF MATERIALS AND FORM** - Simple roof forms - gables, hipped and half hipped

Plain Clay tiles - red / orange and limited slate  
Concrete tiles are generally inappropriate due to poor colour match, form and variety

Plain bargeboards rather than ornate, often white or dark painted timber. Simple lead flashing around chimneys and dormers.  
Generally simple ridge tiles interspersed rather than decorative features.

Dormer windows are small, non dominant features. Eyebrow dormers within thatched roofs.



**OW.III - WINDOWS & DOORS** - Timber cottage casement windows - triple pane/ double pane - arch topped and sliding sash windows. Lighter paint colours are preferable

Dormer windows to be small, with pitched roof forms or eyebrow in thatch and windows to be in the same style and proportions to those in the main dwelling

Small cottage casement dormer windows, generally set into the roof with some cutting of the eaves line. Simple form detailing or decorative bargeboards

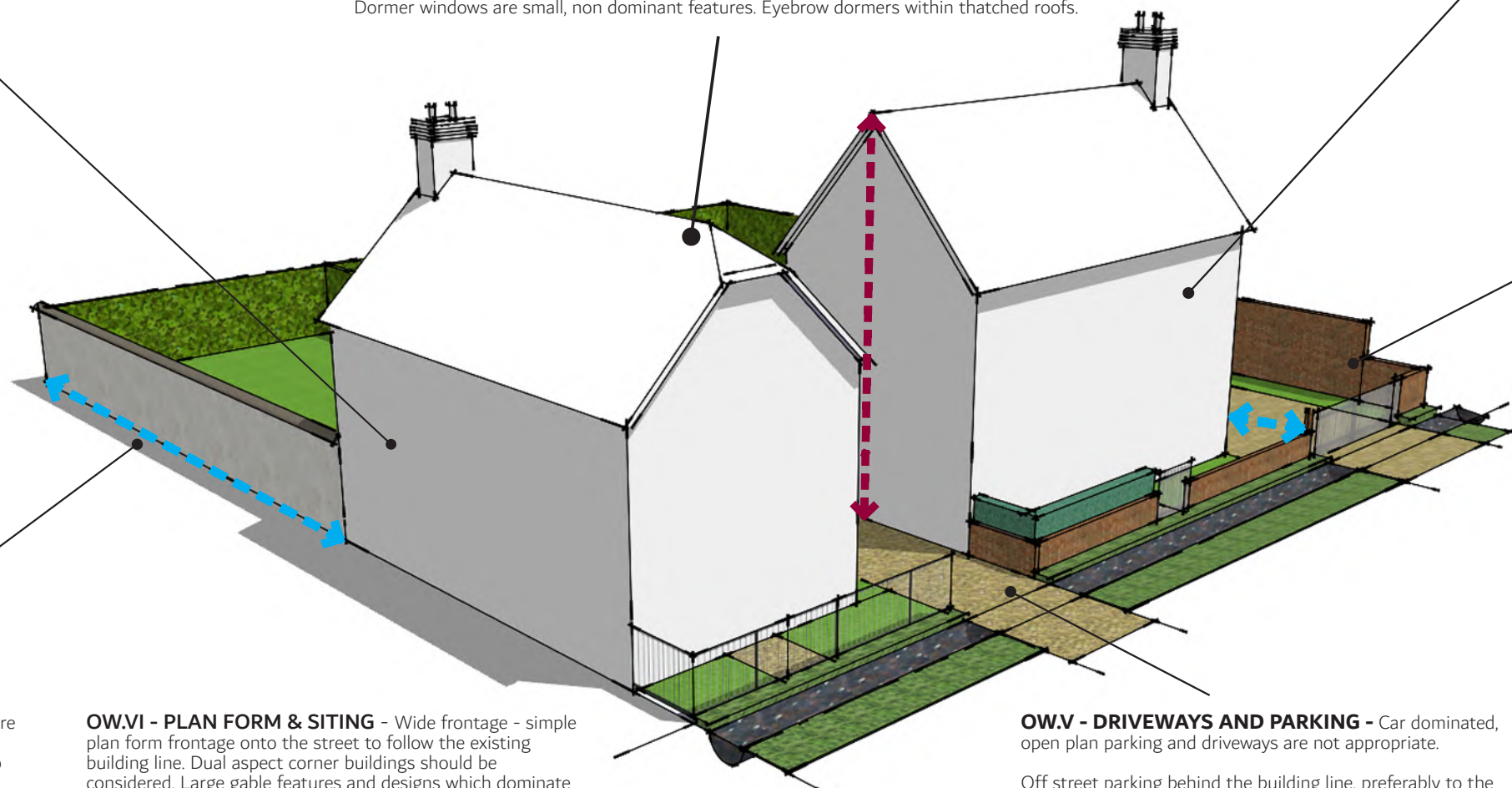
Doors to be timber rather than UPVC either solid wood or part glazed.

**OW.IV- FRONT GARDENS AND BOUNDARIES** -

A range of front gardens - average 3+ metres. The Wallop Brook often then forms a further vegetated area beyond, separating the roadside.

Plot boundaries should be well contained by walls (brick and cob) and hedges, with some wrought iron railings as an alternative (preferably set on low brick walls). Close board fencing is suburban and is not appropriate without sufficient planting to screen.

Low key, open pedestrian gates are appropriate, as are wrought iron gates.  
Vehicle gates to reflect the agricultural character or to be in context with the boundary.



**OW.VII - REAR GARDENS** - over 15 metres in depth, where rear gardens are less than 12 metres, the overall level of amenity space should be considered including garden areas to the side.

Size of garden should relate to the property and setting and provide suitable amenity space for occupants, but should not set a precedent for sub standard garden sizes or lead to a loss of privacy.

**OW.VI - PLAN FORM & SITING** - Wide frontage - simple plan form frontage onto the street to follow the existing building line. Dual aspect corner buildings should be considered. Large gable features and designs which dominate the street scene / neighbouring properties should be avoided.

Front porches are common on later properties and should be simple and in proportion to the size of the dwelling

**OW.V - DRIVEWAYS AND PARKING** - Car dominated, open plan parking and driveways are not appropriate.

Off street parking behind the building line, preferably to the rear of buildings.

Car barns or garage outbuildings to the rear / be separate and form boundary walls to reflect the predominantly agricultural nature of the area



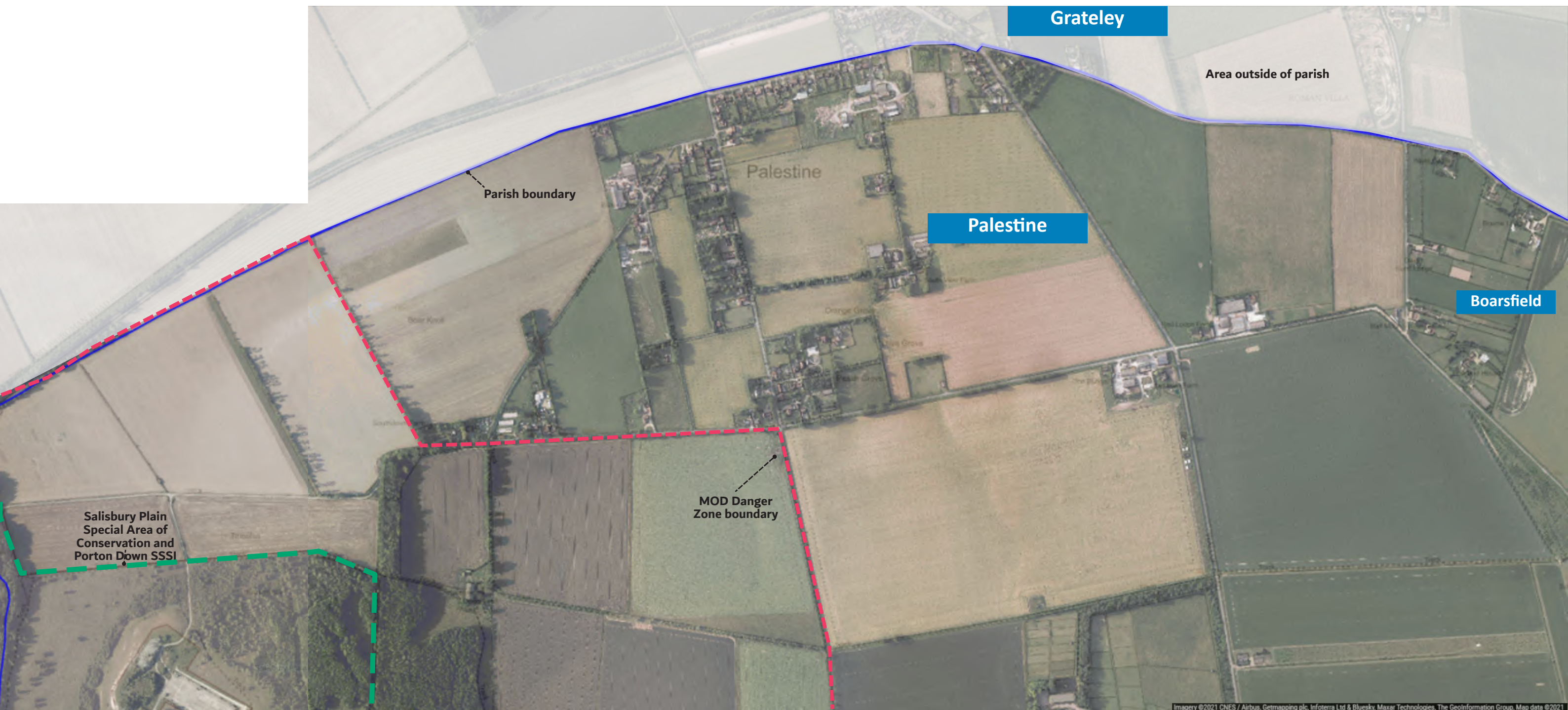


Figure PA.1: Present day aerial photo of Palestine

Imagery ©2021 CNES / Airbus, Getmapping plc, Infoterra Ltd & Bluesky, Maxar Technologies, The GeoInformation Group, Map data ©2021



### Palestine - History

Palestine is a separate village to the north of the parish, which borders with Grateley (see parish plan Figure P1) and the figures above.

It is understood that the settlement was named after World War I, where the involvement of the Hampshire Battalions in the area and the creation of Palestine (in the Middle East). It was believed to originally been created as land for returning soldiers.

The land was subdivided into individual plots each focused around named roads often following the connection to the Middle East. This did not materialise as intended, but over time many of the plots were developed, such that is now a clear settlement in its own right with approximately 100 dwellings.



The 1888 Ordnance Survey map overlaid onto a modern aerial photograph. The current settlement area was previously open agricultural land and woodland. There are two farms shown: Juniper Down Farm (1) and Castle Farm (3), the former is now within land covered by the Ministry of Defence and outside of the scope of this Plan. To the north is Grateley Station (2), which was built in 1857, whilst it is outside the parish, it has a large impact on the wider area..



By 1925 after the end of the First World War, new roads have been planned and plots have started to appear in the area (1). These were low key buildings, often single storey with plots to allow self sufficiency. The railway (2) to the north has changed considerably as has the associated residential development.

### Settlement Hierarchy Designation Under Local Plan Policy (COM2)

Palestine - Rural Village

#### Associated Scale of Development Permitted in Adopted Local Plan:

- Windfalls (within settlement boundary to support and sustain the local community)
- Rural Affordable Housing sites
- Replacement dwellings
- Community-led Development
- Small business uses
- Re-use of Buildings












The aerial photography in 2000 highlights development along Mount Carmel Road, Zion Road and Streetway Road. A number of farms have also developed.



Present day aerial photography highlighting further infill development



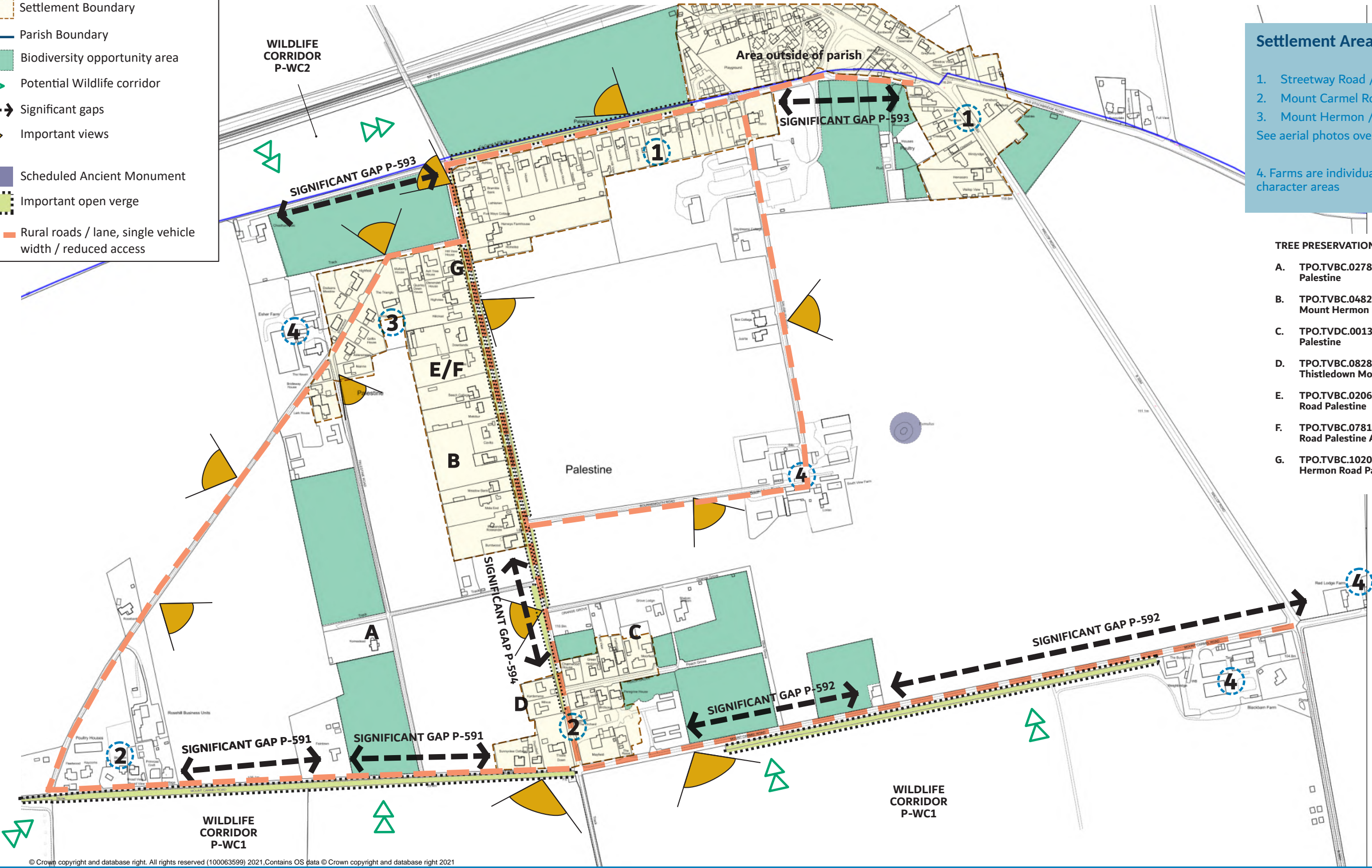
**Legend**

-  Settlement Boundary
-  Parish Boundary
-  Biodiversity opportunity area
-  Potential Wildlife corridor
-  Significant gaps
-  Important views
-  Scheduled Ancient Monument
-  Important open verge
-  Rural roads / lane, single vehicle width / reduced access

**Settlement Areas**

1. Streetway Road / Wallop Road
2. Mount Carmel Road / Peach Grove
3. Mount Hermon / Zion Road
- See aerial photos overleaf
4. Farms are individually marked and not character areas

- TREE PRESERVATION ORDERS**
- A. TPO.TVBC.0278 Homestead Palestine Road Palestine
  - B. TPO.TVBC.0482 Cavilla And Meadowbank, Mount Hermon Road Palestine
  - C. TPO.TVDC.0013 Moorfield Peach Grove Palestine
  - D. TPO.TVBC.0828A Kardemena And Thistledown Mount Hermon Road Palestine
  - E. TPO.TVBC.0206 Lyndale Mount Hermon Road Palestine
  - F. TPO.TVBC.0781 Lyndale Mount Hermon Road Palestine Andover
  - G. TPO.TVBC.1020 Hill View House Mount Hermon Road Palestine



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Figure PA.2: Present day plan of Palestine with constraints overlaid



Character Area Palestine 1, 2 and 3 - examples of views and properties in all areas



a



b



c

The area supports vast, open wide ranging views. This is illustrated clearly in the Important Views Evidence Base Document, but those within and on the edge of settlement are also highlighted in figure PA.2.

(a) shows the view southeastwards from Mount Carmel Road towards Danebury Hill.

(b) view from Salisbury Road in the same direction

(c) view from Zion road to Quarley Hill

The prominent building typology is that of detached, 1.5 storey dwellings or bungalows that have either been extended into the roofspace or replaced.

These are generally set in large plots relating back to the originally post war design for the area.

There are clusters of development as set out in figure PA.2, these highlight the linear form of development, with no backland plots. Only those areas identified as within the settlement boundary are considered appropriate for infill / windfall development.

Whilst there are numerous farms in the area, the majority of farm buildings are modern, steel frame units, which are not considered appropriate for conversion to residential use. Where older brick buildings existing there may be some merit in converting such buildings.

The settlement is adjacent to the Salisbury Plain Special Area of Conservation (SAC) / Porton Down Site of Special Scientific Interest (SSSI). Therefore new development should be considered in terms of any adverse impact on the area. In particular, the current spacing between clusters of development offers the potential for wildlife corridors. The Hampshire Biodiversity Information Centre have also identified areas appropriate for Biodiversity improvements. These should be respected and enhanced in any future development proposals.

The area is characterised by wide open verges, which contribute to the landscape setting. There is potential for these to be sown as wildflower verges in the future.

The highway network consists of largely single vehicle width rural lanes or unmade routes. The junctions are extremely restricted and intensification of use would be problematic without widening the lane. Such a change however would be urbanising and out of keeping with the rural character.



Present day aerial photography overlaid with Ordnance Survey mapping highlighting each character area (3)



Present day aerial photography overlaid with Ordnance Survey mapping highlighting each character area (2)





Character Area Palestine 1, 2 and 3 - examples of views and properties in all areas



Present day aerial photography overlaid with Ordnance Survey mapping highlighting each character area (1)

DESIGN CODE TO SUPPORT NEIGHBOURHOOD PLAN - PALESTINE

- **PA1A - Low density development** - Respect the informal, low density pattern of development and original plot sizes. The ratio of built form to plot size should remain low, with sufficient landscaped boundaries between properties.
- **PA1AB- Building Line /Front gardens** - Dwellings are sited away from the road at least 10 metres away and are one plot deep. Front gardens are contained by hedgerow planting or occasionally mixed hedgerow and post and rail fencing. New development should respect this pattern.
- **PA1C - Building Heights / Scale** -Dwellings should be no more than 1.5 storeys in height so as to not be visible in the long range landscape views. Dormers should be small and set within the roof rather than across the eaves. Large gable features are generally overly dominant and should be avoided, particularly when close to the highway.
- **PA1D - Infill** -Small infill plots within the settlement boundary can successfully accommodate and integrate sensitive development if the principles are followed and the prevailing character of the area and surrounding plots are maintained.
- **PA1E - Large scale (major development)** has the potential to adversely impact upon the character of the area and open landscape due to form, siting, layout and setting issues. It is out of keeping with the character of the area and the original planned form and layout of the settlement, which was for single dwellings with large plots to enable self sufficiency.
- **PA1F - Small Dwellings** -The majority of the smaller dwellings (under 100 sq metres) have been altered an extended or combined into larger properties. There is potential that the stock of smaller dwellings could be lost in the future should this trend continue. A small dwelling policy could be proposed in the Neighbourhood Plan, where this is considered problematic.
- **PA1G - Rural Lanes / Quiet Lanes** - the majority of lanes in the settlement are not suitable for an increase in vehicle movements due to their width (single vehicle) and surfacing (often unmade). To widen the lanes would require the reduction in the characteristic wide verges and would result in an urbanising effect which would be detrimental to the character of the area. Therefore only development which would not intensify vehicle movements beyond acceptable limits should be considered.





**PA.I - WALLING MATERIALS** - Plain hampshire red / orange brick simple bonds and limited decorative brickwork detailing. Lighter multi stock brick are usually out of keeping with the area.

Light painted brick and render

Some timber weather boarding on outbuildings - usually set on a brick plinth.

Limited tile hanging, usually decorative.

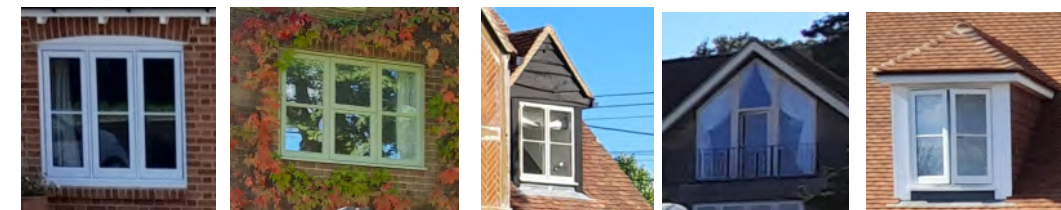


**PA.II - ROOF MATERIALS AND FORM** - Simple roof forms - hipped and half hipped predominate

Plain Clay tiles - red / orange and limited slate. Concrete tiles are prevalent, but generally inappropriate due to poor colour match, form and variety

Plain bargeboards rather than ornate, often white or dark painted timber. Simple lead flashing around chimneys and dormers. Open, projecting rafters under eaves. Generally simple ridge tiles interspersed rather than decorative features.

Dormer windows are small, non dominant features.

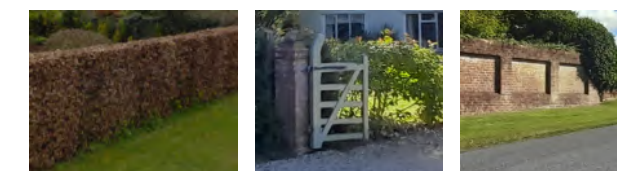
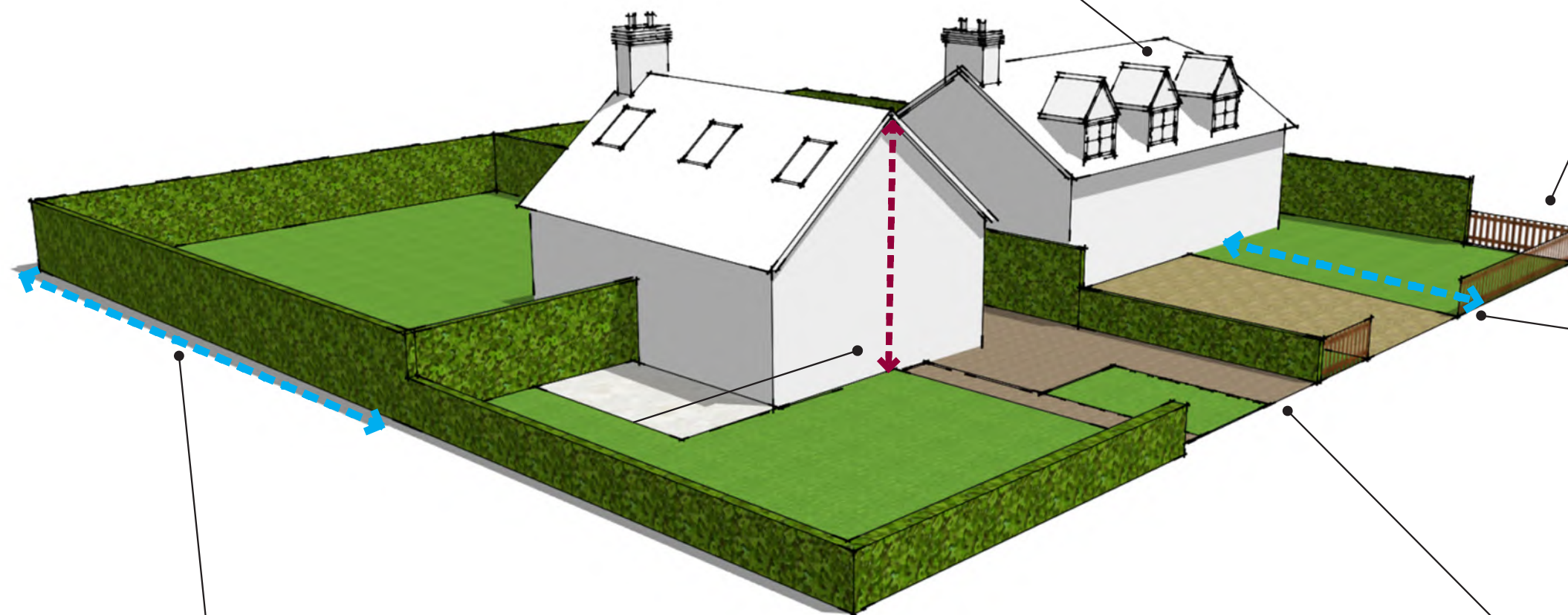


**PA.III - WINDOWS & DOORS** - Timber cottage casement windows - triple pane/ double pane - arch topped and sliding sash windows. Lighter paint colours are preferable

Dormer windows to be small, with pitched roof forms or eyebrow in thatch and windows to be in the same style and proportions to those in the main dwelling

Small cottage casement dormer windows, generally set into the roof with some cutting of the eaves line. Simple form detailing or decorative bargeboards

Doors to be timber rather than UPVC either solid wood or part glazed.



**PA.IV- FRONT GARDENS AND BOUNDARIES** - A range of deep front gardens - average 7-10+ metres. A wide grass verge is set to the front adjacent to the highway. These should not be incorporated into the plots.

Plot boundaries should be well contained by hedges, with some mixed post and rail fences and hedges as an alternative. Close board or panel fencing is suburban and is not appropriate without sufficient planting to screen.

Vehicle gates to reflect the agricultural character or to be in context with the boundary.

**PA.VII - REAR GARDENS** - over 20 metres, with the exception of Peach Grove, where rear gardens are over than 12 metres, the overall level of amenity space should be considered including garden areas to the side.

Size of garden should relate to the property and setting and provide suitable amenity space for occupants, but should not set a precedent for sub standard garden sizes or lead to a loss of privacy.

**PA.VI - PLAN FORM & SITING** - 1.5 storey chalet style dwellings, with rooms set into the roof. Large gable features and designs which dominate the street scene / neighbouring properties should be avoided.

Simple pitch roof dormers rather than flat roof dormers. Proportions should be in keeping with the dwelling and pitch should not be too low.

Front porches are common on later properties and should be simple and in proportion to the size of the dwelling



**PA.V - DRIVEWAYS AND PARKING** - Car dominated, open plan parking and driveways are not appropriate. Parking areas should be softened by landscaping

Car barns or garage outbuildings where to the front of the dwelling should not dominate the street scene or other properties.

In terms of on plot parking, this is often a gravelled parking area. The use of more urban hard surfacing such as tarmac or extensive block paving is not prevalent or encouraged, particularly as it also increases surface water run-off.









OS Base of the housing area at Kentsboro. The majority of properties are under the ownership of the MOD (with the exception of that outlined in pink)

The MOD housing is outside the scope of this present Neighbourhood Development Plan (NDP). It should be noted however that the dwellings have all been laid out around focal features or green spaces, with high quality spaces and buildings created.

Should the MOD no longer need the land, it is recommended that a review of this area be undertaken and NDP policies be reviewed and updated accordingly.

There are a few houses which are sited outside of the MOD ownership, largely along Old Stockbridge Road. These are generally single storey bungalows (often with converted roof space) and more reminiscent of properties found in Palestine.



Mix of new housing maintained by the MOD in addition to older privately owned housing (largely bungalows). A petrol filling station and associated convenience store provides essential local facilities.

### DESIGN CODE TO SUPPORT NEIGHBOURHOOD PLAN - KENTSBORO

- **KE1A - Coalescence** - It is desirable that the separation of the settlements from the Army Air Corps buildings be maintained.
- **KE1B- New development** - New non-operational building at the Army Air Corps Centre should be, as far as possible, in keeping with the traditional style of the locality.
- **KE1C - Lighting** -The design of street lighting of any future developments should seek to mitigate the effect of light pollution.
- **KE1D - Access** - the majority of vehicle movements lead onto the congested A343 and junctions are heavily used during peak periods causing long queues of vehicles. New development should highlight how this will be appropriately mitigated.
- **KE1E - MOD Land** - Should the site no longer be required for MOD purposes, the land would then fall under the remit of a NDP. It is recommended that in these circumstances, this area be reviewed and new NDP policies be considered.





## DESIGN CODE - PARISH WIDE

The Wallops Village Design Statement was adopted by Test Valley Borough Council 2004. It contained a number of important guidelines which reflected the area at the time of writing. These have been updated for this document to reflect the parish at the time of writing and form the basis for Neighbourhood Plan policies.

### Village / Settlement Setting

- The overall setting of the villages should be protected. Any future developments should be carefully controlled to protect open views and green spaces.
- It is important to preserve the separation of the settlements.

#### Open Space

- Open areas that support a variety of wildlife are a natural part of the character of the villages and should be maintained.
- Wildlife should be encouraged through the retention and improvement of features such as ponds, watercourses, hedgerows and tree by the landowners.
- The important green areas of the villages and other settlements in the parishes should be maintained in any proposed development.
- The villages would lose an essential element if these small spaces and unexpected views were filled in and as such they should be protected.

### Woodland

- Woodland areas are environmental and landscape significance and should be preserved and maintained. Planting of new trees is to be encouraged and existing trees should be by a ratio of 3:1 if felled.

### Pattern and Content of the Settlement

- In areas where flooding is likely to occur this will be an important consideration in any proposed development.
- The predominant form of the settlement is one single plot deep, therefore in-depth development of residential land behind an existing frontage is not considered appropriate.
- Densities are very low, with the exception of the more modern estates in Over Wallop. This is not representative of development in the parish as a whole. New development should assess the surrounding density levels as well as plot coverage and ratio of built form to plot size. These should be justified in any design and access statement.

### Scale

Most buildings in this parish are 1.5-2 stories in height, typically in the range of 6-8.5m in height. There are few examples of 2.5 storey buildings, where these occur they are focal buildings deliberately built as such. These set back from the road frontage set within large gardens and range up to 10 m in height.

Single storey buildings are also common, but often are modernised including converting the roof space or raising the height of the dwelling.

- Housing should if possible be kept below the 79m contour within Over Wallop so that it is not visible from the surrounding area, thus preserving the valley nature of the villages.

### Appearance, Materials and Detailing

The design of extensions and new buildings should reflect the amount and type of decoration and functional elements such as the position and type of doors and windows, flues, chimneys, gutters and flashings of the local vernacular. The inclusion of details should be undertaken with care as overly detailed elevations can appear fussy and historic detailing can appear like a caricature of the original.

Generally the elevations of buildings should adhere to the local colour palette, bonds and course detailing as set out. For developments of multiple homes, detailing will be key to ensure successful integration and variation.

Innovative and sustainable materials should also be considered in addition to green roofs and living boundaries.

To maintain the individual distinctive and historical character of the Wallops particular attention must be paid to the following:

- Design should sympathetically reflect the character of the existing mix of properties within the settlements, paying particular attention to roof and fenestration details: low roofs with flying hips and over-hanging eaves rather than gable ends. Dormer windows at first floor level and the use of brick arch details would help any new building to blend in with the existing.

**Roofing** - materials that blend in with the existing are preferred and include:

- Handmade or clay tiles
- Natural slate
- Thatch
- Flat roofs to be actively discouraged
- The use of concrete tiles should be avoided

**Walls**- The preferred materials for use on the façade of the buildings include:

- Handmade brick
- Cement/Lime render painted white or cream
- Flint panels
- Timber framed panels infilled with brick, flint, or render
- Fenestration to reflect the traditional styles:
- With small pane timber casement or sash windows
- Brick arches over the windows where possible
- Dormer windows at first floor level, which should be manufactured in timber to match the fenestration of the main property. They should have a pitched roof covered in the same materials as the main roof, with cheeks and face (where applicable) clad in the matching materials.
- The use of modern plastic windows and doors should be avoided.

### Boundaries

- The over-hanging thatch roofs are an intrinsic design feature of the area and should be maintained.
- The network of ancient droves, bridleways and footpaths should be maintained.
- Older hedges and walls are protected and owners should be actively supported to reinstate those which have fallen into disrepair. Hedges and walls with a traditional appearance should be used to demarcate new developments.

### Garages & Outbuildings

- There are few garages or outbuildings forward of the building line within the area. Those that occur are usually set in line or behind dwellings and are typically modest in scale and associated with larger properties or farm buildings. Structures are typically timber clad barns in natural colours with brick plinths.

### Roads and Traffic

- The traditional character of village roads and lanes should be maintained. Their urbanisation by the insertion of kerbs and pavements should be avoided.
- The potential for Quiet Lane designations and 20mph limits in certain areas of the parish, such as along Station Road, where it is narrow, should be investigated.

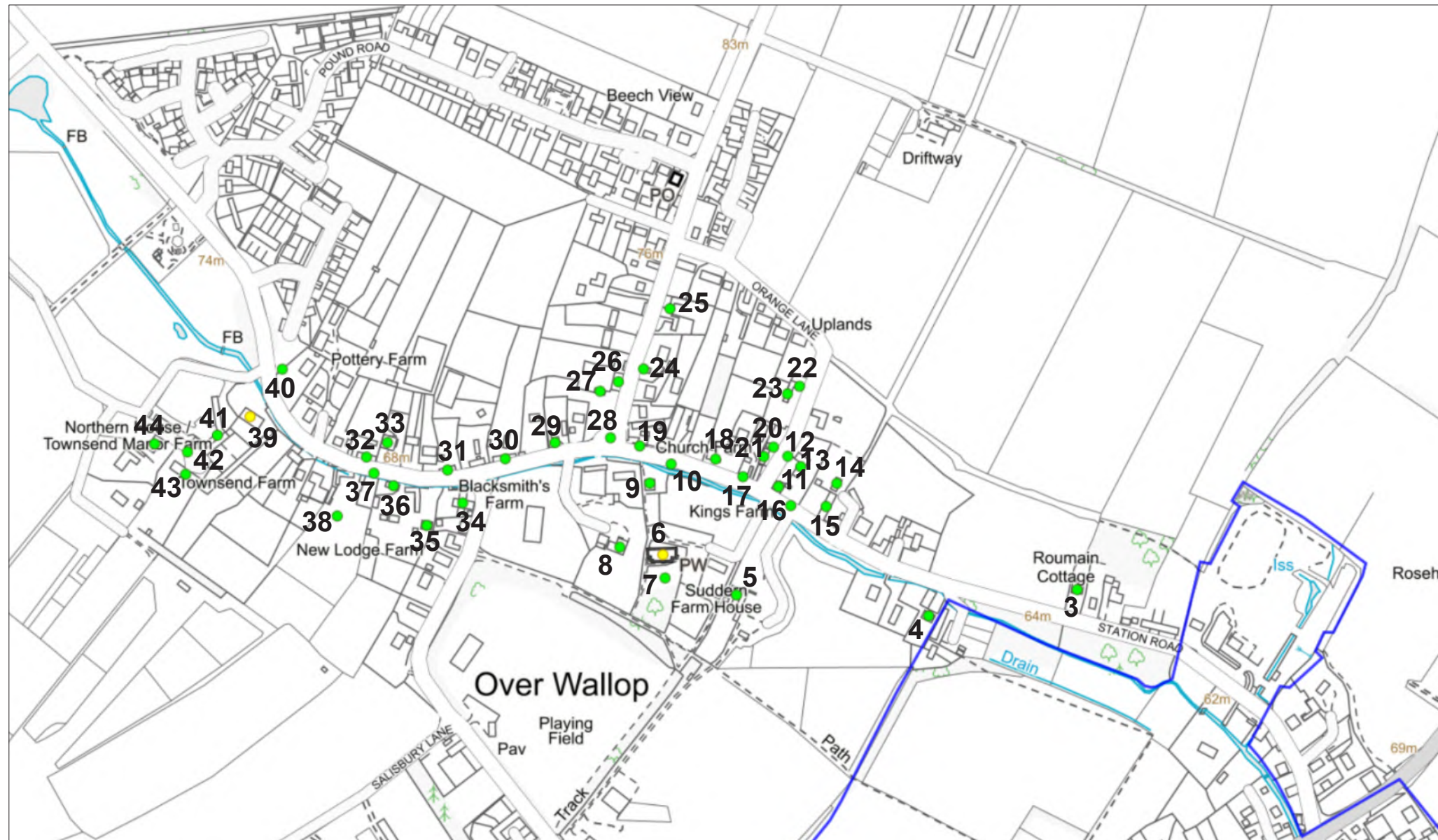
### Lighting

- The muted levels of current lighting should be preserved; downlighting using white light rather than orange is preferred. Private security lights should be muted and carefully sited to light the required areas without forming a hazard to road users or a nuisance to neighbours.
- Seating and other street furniture, for example signposts, bus shelters and litter bins, should be of good quality and the design should be in keeping with the character of the villages.
- TV dishes and aerials should be of minimum size and sited unobtrusively.

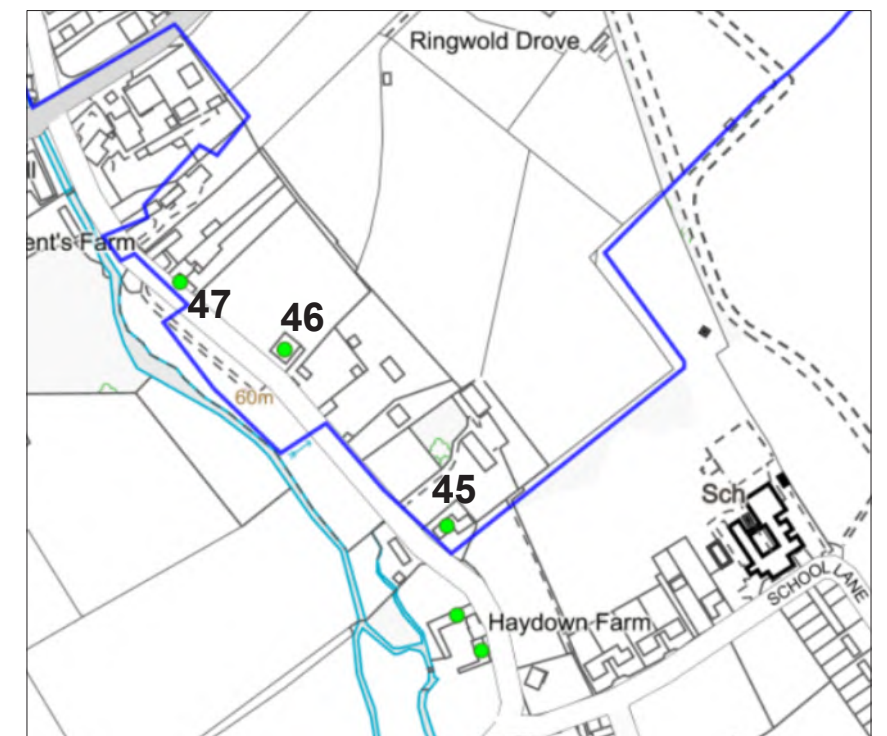
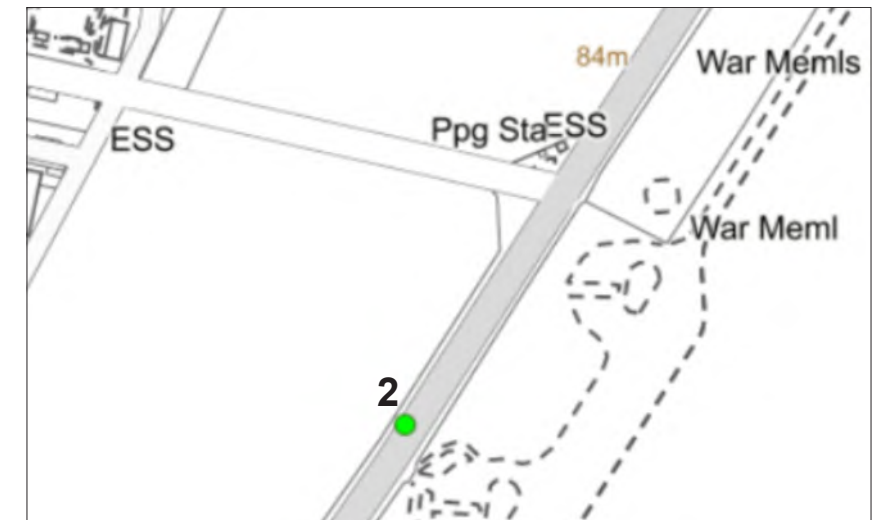
### The Rural Area outside of settlements

The rural area is that outside of all the defined settlements of Over Wallop Parish (see parish plan Figure P1). In these circumstances, general principles apply.





Please see detailed list overleaf







## Kentsboro

### 1. MILESTONE

List Entry Number: 1339413

Heritage Category: Listed Building

Grade: II

Location: MILESTONE OPPOSITE FILLING STATION BESIDE MIDDLE WALLOP AIRFIELD, A343, Test Valley, Hampshire

## Over Wallop

### 2. MILESTONE

List Entry Number: 1157037

Heritage Category: Listed Building

Grade: II

Location: MILESTONE 30 METRES SOUTH WEST OF JUNCTION WITH CRAYDOWN LANE, A343, Test Valley, Hampshire

### 3. ROUMAIN COTTAGE

List Entry Number: 1157162

Heritage Category: Listed Building

Grade: II

Location: ROUMAIN COTTAGE, STATION ROAD, OVER WALLOP Test Valley, Hampshire

### 4. WYKEHAMS

List Entry Number: 1157266

Heritage Category: Listed Building

Grade: II

Location: WYKEHAMS, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 5. SUDDERN FARM HOUSE

List Entry Number: 1339442

Heritage Category: Listed Building

Grade: II

Location: SUDDERN FARM HOUSE, STATION ROAD (south side), OVER WALLOP, Test Valley, Hampshire

### 6. CHURCH OF ST PETER

List Entry Number: 1093127

Heritage Category: Listed Building

Grade: II\*

Location: CHURCH OF ST PETER, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 7. 4 TOMBCHESTS IN GROUP 10 METRES SOUTH OF ST PETERS' CHURCH

List Entry Number: 1157260

Heritage Category: Listed Building

Grade: II

Location: 4 TOMBCHESTS IN GROUP 10 METRES SOUTH OF ST PETER'S CHURCH, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 8. THE OLD RECTORY

List Entry Number: 1339441

Heritage Category: Listed Building

Grade: II

Location: THE OLD RECTORY, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 9. CHURCH HALL, FORMERLY SUNDAY SCHOOL

List Entry Number: 1157247

Heritage Category: Listed Building

Grade: II

Location: CHURCH HALL, FORMERLY SUNDAY SCHOOL, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 10. LITTLE THATCH

List Entry Number: 1093126

Heritage Category: Listed Building

Grade: II

Location: LITTLE THATCH, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 11. KINGS FARM HOUSE

List Entry Number: 1093120

Heritage Category: Listed Building

Grade: II

Location: KINGS FARM HOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 12. GRANARY 15 METRES NORTH OF KINGS FARM HOUSE

List Entry Number: 1302519

Heritage Category: Listed Building

Grade: II

Location: GRANARY 15 METRES NORTH OF KINGS FARMHOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 13. BARN 15 METRES NORTH EAST OF KINGS FARM HOUSE

List Entry Number: 1339437

Heritage Category: Listed Building

Grade: II

Location: BARN 15 METRES NORTH EAST OF KINGS FARM HOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 14. STADDLE BARN 20 METRES NORTH WEST OF NORTHERN FARMHOUSE

List Entry Number: 1339438

Heritage Category: Listed Building

Grade: II

Location: STADDLE BARN 20 METRES NORTH WEST OF NORTHERN FARMHOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 15. BARN 20 METRES WEST OF NORTHERN FARMHOUSE

List Entry Number: 1157143

Heritage Category: Listed Building

Grade: II

Location: BARN 20 METRES WEST OF NORTHERN FARMHOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 16. WALL ALONG ROADSIDE RUNNING FROM KING'S FARMHOUSE EAST TOWARDS NORTHERN FARM

List Entry Number: 1093121

Heritage Category: Listed Building

Grade: II

Location: WALL ALONG ROADSIDE RUNNING FROM KING'S FARMHOUSE EAST TOWARDS NORTHERN FARM, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 17. WAYSIDE COTTAGE

List Entry Number: 1157136

Heritage Category: Listed Building

Grade: II

Location: WAYSIDE COTTAGE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 18. LITTLE BROOK HOUSE

List Entry Number: 1093119

Heritage Category: Listed Building

Grade: II

Location: LITTLE BROOK HOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 19. CHURCH FARMHOUSE

List Entry Number: 1339436

Heritage Category: Listed Building

Grade: II

Location: CHURCH FARMHOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

### 20. GRANGE COTTAGE

List Entry Number: 1093111

Heritage Category: Listed Building

Grade: II

Location: GRANGE COTTAGE, ORANGE LANE, OVER WALLOP, Test Valley, Hampshire

### 21. BARN IMMEDIATELY SOUTH OF GRANGE COTTAGE

List Entry Number: 1093112

Heritage Category: Listed Building

Grade: II

Location: BARN IMMEDIATELY SOUTH OF GRANGE COTTAGE, ORANGE LANE, OVER WALLOP, Test Valley, Hampshire



**22. VINE COTTAGE**

List Entry Number: 1339435

Heritage Category: Listed Building

Grade: II

Location: VINE COTTAGE, ORANGE LANE, OVER WALLOP, Test Valley, Hampshire

**23. BARN IMMEDIATELY SOUTH WEST OF VINE COTTAGE**

List Entry Number: 1093110

Heritage Category: Listed Building

Grade: II

Location: BARN IMMEDIATELY SOUTH WEST OF VINE COTTAGE, ORANGE LANE, OVER WALLOP, Test Valley, Hampshire

**24. HILLSIDE**

List Entry Number: 1157047

Heritage Category: Listed Building

Grade: II

Location: HILLSIDE, KINGS LANE, OVER WALLOP, Test Valley, Hampshire, Test Valley, Hampshire

**25. APPLE TREE COTTAGE / KINGS COTTAGE**

List Entry Number: 1339414

Heritage Category: Listed Building

Grade: II

Location: APPLE TREE COTTAGE &amp; KINGS COTTAGE, KINGS LANE, OVER WALLOP, Test Valley, Hampshire

**26. FREEMANTLE**

List Entry Number: 1093153

Heritage Category: Listed Building

Grade: II

Location: FREEMANTLE KINGS LANE, OVER WALLOP, Test Valley, Hampshire

**27. BARN 5 METRES WEST OF FREEMANTLE**

List Entry Number: 1157072

Heritage Category: Listed Building

Grade: II

Location: BARN 5 METRES WEST OF FREEMANTLE, KINGS LANE, OVER WALLOP, Test Valley, Hampshire

**28. War Memorial**

List Entry Number: 1093118

Heritage Category: Listed Building

Grade: II

Location: WAR MEMORIAL, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**29. FORESTERS**

List Entry Number: 1093117

Heritage Category: Listed Building

Grade: II

Location: FORESTERS, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**30. BLACKSMITHS FARM HOUSE**

List Entry Number: 1093116

Heritage Category: Listed Building

Grade: II

Location: BLACKSMITHS FARM HOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**31. IVY COTTAGE AND SOUTH VIEW**

List Entry Number: 1093115

Heritage Category: Listed Building

Grade: II

Location: IVY COTTAGE and SOUTH VIEW, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**32. ROSE COTTAGE**

List Entry Number: 1093113

Heritage Category: Listed Building

Grade: II

Location: ROSE COTTAGE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**33. THE WHITE HART INN**

List Entry Number: 1093114

Heritage Category: Listed Building

Grade: II

Location: THE WHITE ART INN, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**34. BROCKHURST COTTAGES**

List Entry Number: 1302507

Heritage Category: Listed Building

Grade: II

Location: BROCKHURST COTTAGES, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**35. NEW LODGE**

List Entry Number: 1093125

Heritage Category: Listed Building

Grade: II

Location: NEW LODGE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**36. YEW TREE COTTAGE**

List Entry Number: 1157191

Heritage Category: Listed Building

Grade: II

Location: YEW TREE COTTAGE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**37. WALL RUNNING EAST FROM THE LAURELS ALONG RIVER**

List Entry Number: 1339440

Heritage Category: Listed Building

Grade: II

Location: WALL RUNNING EAST FROM THE LAURELS ALONG RIVER, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**38. BARN RANGE 50 METRES SOUTH OF THE LAURELS (demolished with permission approx 20 years ago)**

List Entry Number: 1157183

Heritage Category: Listed Building

Grade: II

Location: BARN RANGE 50 METRES SOUTH OF THE LAURELS, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**39. TOWNSEND FARM HOUSE**

List Entry Number: 1093122

Heritage Category: Listed Building

Grade: II\*

Location: TOWNSEND FARM HOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**40. WALLED GARDEN 15 METRES WEST OF TOWNSEND FARM HOUSE**

List Entry Number: 1302535

Heritage Category: Listed Building

Grade: II

Location: WALLED GARDEN 15 METRES WEST OF TOWNSEND FARM HOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**41. STABLE RANGE 15 METRES WEST OF TOWNSEND MANOR FARM HOUSE**

List Entry Number: 1339439

Heritage Category: Listed Building

Grade: II

Location: STABLE RANGE 15 METRES WEST OF TOWNSEND MANOR FARM HOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**42. BARN 40 METRES WEST OF TOWNSEND MANOR FARM HOUSE**

List Entry Number: 1093123

Heritage Category: Listed Building

Grade: II

Location: BARN 40 METRES WEST OF TOWNSEND MANOR FARM HOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire





**43. BARN 50 METRES SOUTH WEST OF TOWNSEND MANOR FARM HOUSE**

List Entry Number: 1157177

Heritage Category: Listed Building

Grade: II\*

Location: TOWNSEND FARM HOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**44. STADDLE BARN 60 METRES WEST OF TOWNSEND MANOR FARM HOUSE**

List Entry Number: 1093124

Heritage Category: Listed Building

Grade: II

Location: STADDLE BARN 60 METRES WEST OF TOWNSEND MANOR FARM HOUSE, STATION ROAD, OVER WALLOP, Test Valley, Hampshire

**Middle Wallop**

**45. WALLOP BAPTIST CHAPEL**

Heritage Category: Listed Building

Grade: II

List Entry Number: 1157041

Location: WALLOP BAPTIST CHAPEL, FARLEY STREET, MIDDLE WALLOP

**46. RINGWOLD**

Heritage Category: Listed Building

Grade: II

List Entry Number: 1093152

Location: RINGWOLD, FARLEY STREET, MIDDLE WALLOP

**47. TUDOR COTTAGE**

Heritage Category: Listed Building

Grade: II

List Entry Number: 1093151

Statutory Address: TUDOR COTTAGE, FARLEY STREET, MIDDLE WALLOP

**SCHEDULED MONUMENTS**

**A. Long barrow 500m west of Croft Farm**

List Entry Number: 1012509

Heritage Category: Scheduling

Location: Over Wallop, Test Valley, Hampshire.

**B. Flint mines, linear boundary and two bowl barrows at Martin's Clump, Porton Down**

List Entry Number: 1017168

Heritage Category: Scheduling

Location: Over Wallop, Test Valley, Hampshire.

**C. Long barrow and adjoining bowl barrow, 250m south of Martin's Clump**

List Entry Number: 1012997

Heritage Category: Scheduling

Location: Over Wallop, Test Valley, Hampshire.

**D. Bowl barrow 250m south of Martin's Clump**

List Entry Number: 1013063

Heritage Category: Scheduling

Location: Over Wallop, Test Valley, Hampshire.

**E. Hydraulic pillbox on Middle Wallop Aerodrome**

List Entry Number: 1001795

Heritage Category: Scheduling

Location: Over Wallop, Test Valley, Hampshire

